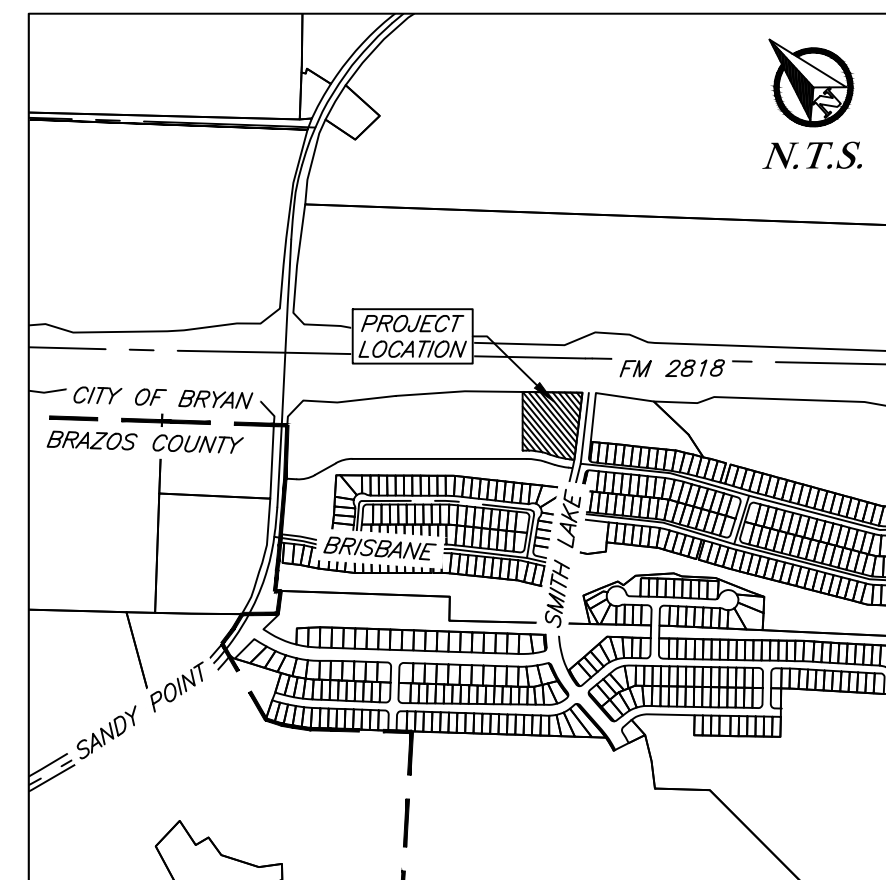


Greens Crossing C-Store

Harvey Mitchell Parkway (FM 2818)

Greens Crossing
 Block 1, Lot 1 - 2.771 AC
 Bryan, Brazos County, Texas



VICINITY PLAN

OWNER:

STTC, LLC
 11767 Katy Freeway
 Suite 510A
 Houston, TX 77079

DEVELOPER:

Greens Crossing Center, LLC

ENGINEER:



Firm # 9951
 PO Box 5192
 Bryan, Texas 77805
 979-739-0567

Sheet List Table	
Sheet Number	Sheet Title
C1	Notes
C2	Site Plan
C3	Erosion & Sedimentation Control Plan
C4	Pavement & Grading Plan
C5	Utility Plan
C6	Drainage Plan
L1	Landscape Plan
S1	BCS Unified Sewer Details
S2	BCS Unified Sewer Details
W1	BCS Unified Water Details
W2	BCS Unified Water Details
D	BCS Unified Drainage Details



Know what's below.
 Call before you dig.

**Preliminary Plans Only
 Not for Construction**

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Released for Review

February 2024

General Notes:

- 1. The contractor shall promptly notify the engineer of any discrepancies between these plans and other drawings of differing disciplines & specifications.
2. The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field.
3. Contractor to verify all underground utilities in the field prior to construction.
4. It is the responsibility of the contractor to comply with all state and federal regulations regarding construction activities near energized overhead power lines.
5. The contractor shall be responsible for the protection of all existing utilities or service lines that are crossed or exposed during construction operations.
6. During the execution of the work, the contractor shall maintain the project site in an orderly and acceptable manner as far as practical.
7. Contractor is responsible for OSHA established trench safety as described in the federal register 29 CFR Part 1926.
8. A copy of the approved construction plans shall be kept on site at all times throughout the entire construction of the project.
9. The contractor shall be responsible for safeguarding and protections all material and equipment stored on the jobsite.
10. Contractor to store materials at location(s) approved by & coordinated with the owner.
11. Contractor shall saw cut remove and replace concrete pavement, and curb & gutter as required to construct proposed improvements.
12. It shall be the responsibility of the contractor to pay for and obtain all required permits and inspection approvals for all work shown.
13. Any adjacent property and right-of-way disturbed during construction will be returned to their existing condition or better.
14. All exposed dirt surfaces shall be seeded, hydro-mulched, or sodded.
15. The contractor shall not create a dirt nuisance or safety hazard in any street or driveway.
16. Adequate drainage shall be maintained at all times during construction and any drainage ditch or structure disturbed during construction shall be restored to existing conditions or better.
17. The contractor shall coordinate all fence removal and replacement with the Owner.
18. The contractor shall protect all monuments, iron pins, and property corners during construction.
19. The contractor must provide construction staking from the information provided on the plans.

General Utility Note (Private & Public):

- 1. All excavation for underground utilities shall be made true to grade. Excavation shall be made a minimum of six inches below the required grade and provide a sand bed for the piping.
2. Minimum bury or cover specified is to be measured from finish grades.
3. Utility installations in non-structural areas shall be bedded and initial backfill consistent with non-structural requirements.
4. Regardless of elevations shown for manhole rims, clean-outs, covers, or grates, these items shall be placed flush with the pavement elevations and slopes.
5. Contractor shall uncover existing utilities at all "points of interest" to determine if conflicts exist before commencing and construction.
6. The contractor shall coordinate all utility installation so that grade critical elements (i.e. storm drain, sanitary sewer, etc.) do not conflict with non-grade critical elements (i.e. electrical conduit, water services, etc.).
7. The contractor shall furnish all materials, equipment, and labor for excavation, boring, installation, and backfilling of utility lines and relates appurtenances, as shown on the plans.
8. The loading and unloading of all pipe and other accessories shall be in accordance with the manufacturer's recommended practices and shall, at all times, be performed with care to avoid any damage to the material.
9. Contractor shall be responsible for coordinating all connections to public systems and installations with regulatory inspector.
10. This project shall be built by means of open cut except as noted on the drawings.
11. Structural backfill will be required for all excavation within 5 feet of public roadway pavements or walks.

Private Utility Notes:

- 1. The contractor shall install the proposed private utility lines in accordance with local codes, latest national plumbing code, and all applicable state and local laws.
2. It shall be the responsibility of the contractor to pay for and obtain all required permits and inspection approvals for all work shown.
3. The contractor shall coordinate all installations of service lines, conduits, meters, etc., with the appropriate utility company.

Water Line Notes (Public & Private):

- 1. All domestic water line pipe shall be constructed out of PVC (Sch 40). Public or fire water line pipe shall be constructed out of C900-DR14 and public services shall be copper.

Storm Sewer Notes (Private):

- 1. All 15 inch to 42 inch storm sewer pipe, shall be constructed out of reinforced concrete pipe (RCP), C443 ASTM C76, Class III except as noted.
2. All 6 inch to 12 inch storm sewer pipe, except as noted, shall be HDPE.
3. Contractor shall provide a minimum of 12 inch clearance at storm sewer and water line crossings and a minimum of 6 inch clearance at storm sewer and sanitary sewer crossings.
4. Unless otherwise specified, the contractor shall install all storm sewer pipe in accordance with the trench detail contained in these construction drawings.

Demolition & Construction Notes:

- 1. Demolition of existing structures and improvements shall include all work contained on these plans, but shall not be limited to the items specially identified.
2. It shall be the responsibility of the contractor to stage and sequence all demolition work with utility companies to provide minimal interruption and inconvenience of utility services.
3. Demolished surplus material shall be legally disposed of off-site.
4. All pavement edges, bounding the construction area & matching with new construction, shall be neatly sw cut, unless gravel.
5. The contractor shall clear all right-of-ways and easements contained in these construction drawings.
6. The contractor shall field verify and locate all existing utilities on site prior to demolition.
7. The contractor shall perform demolition activities as noted and shown on these plans and as directed by the owner/ developer.
8. It shall be the responsibility of the contractor to obtain any permits and pay any fees required for demolition and disposal from the appropriate authorities.
9. The contractor shall install all erosion and sediment control devices prior to commencing demolition work.
10. The contractor is responsible for the protection of all utilities that are to remain in place.
11. The contractor shall take all precautions to avoid damage to any existing road surface.
12. All existing items that are to remain in place which are damaged during construction shall be restored to original condition, or better, at the sole expense of the contractor.
13. Should any existing utilities not shown or shown incorrectly on this plan be found on site, the contractor shall contact the engineer immediately to discuss any possible conflicts before proceeding with any work in that area.
14. An asbestos survey must be performed prior to the demolishing of any structures.

Dimensional Control Notes:

- 1. The contractor may obtain an electronic copy of these plans for construction purposes.
2. All dimensions shown are to be used in conjunction with these plans for locating all improvements and shall be field verified by the contractor for workability prior to construction of improvements.
3. Unless otherwise shown, all dimensioning is to the back of curb or edge of pavement, which ever is applicable.

Grading Notes:

- 1. All unpaved areas shall be adequately graded to drain at a minimum of 1.00% slope, unless otherwise noted, so that no ponding occurs.
2. Unless otherwise specified, unpaved areas shall drain away from buildings so that the perimeter curb is a minimum 6" lower than the finished floor.
3. Finish grade adjacent to curbing or sidewalk shall be 1/2" below the top of concrete and 2" below in landscaping areas.
4. When top of curb elevations are shown, the curb height is 6" unless otherwise specified.
5. The contractor shall follow the general intent of the grading plans.
6. Adequate drainage shall be maintained at all times during construction and any drainage ditch or structure disturbed during construction shall be restored to existing conditions or better.
7. The approval of these plans is not an authorization to grade adjacent properties.

Erosion Control Notes:

- 1. Erosion control measures shown in these plans shall be considered the very minimum required.
2. The site operator, or his representative established by a letter of delegation, shall make a visual inspection of all siltation controls and newly stabilized areas on a daily basis.
3. All sediment trapping devices shall be installed as soon as practical after the area has been disturbed.
4. During construction, contractor shall maintain best management practice (bmp). Sediment fence, hay bale barriers, or other devices shall control all storm water leaving the site.

- 5. The contractor shall be responsible for establishing temporary erosion control measures as required for different phases of construction.
6. Phase II erosion control measures shall be implemented immediately after construction of their associated improvements.
7. The contractor is responsible for removing sediment control devices after the site has been seeded and/ or sodded.
8. The contractor shall take all necessary measures to ensure that all disturbed areas are stabilized.
9. The contractor shall take all necessary measures to ensure that all disturbed areas are stabilized.
10. When hydro-mulching is required, contractor shall keep mulch moist after installation and until area shows growth.
11. Erosion control measures shall be implemented prior to any excavation or demolition work.

Sidewalk Construction

- 1. Sidewalks shall be doweled into and tie to any concrete structure adjacent to sidewalk (driveaway, inlet box, curb) #4 x 12" bars @ 18" O.C.
2. ADA ramps shall be constructed per the ambulatory ramp details on the pavement plan shown in these plans.

Paving Notes:

- 1. The pavement system shown was designed without the aid of a geotechnical investigation.
2. Sub-grade
a. Existing trees, stumps, and large tree systems, shall be grubbed and removed.
b. Paving areas shall be proof-rolled with a 20 ton roller and, if required at the time of construction, the contractor shall stabilize weak areas by over excavation and backfilling.
c. Materials excavated on site, excluding the top 6 inches, may be used as fill material.
d. Fill material shall be placed in eight inch maximum loose lifts, with each lift wetted or dried to a moisture content range of 0% to +3% of the optimum moisture content and compacted to a uniform density of 95% of the maximum dry density as determined by ASTM D698.
e. Compaction test, for fill, shall be verified by in-place density test for each lift.
3. Asphalt
a. All asphalt paving shall be hot-mix asphalt cement (HMAC), Type D P64-22, in accordance with TxDOT Item #340.
b. No more than 20% RAP shall be used with HMAC mix design.
c. Limestone base shall be prime coating with RC-250, MC-30, CRS-1P/2P, or approved equal in accordance with TxDOT Item #300 and Item #310.
4. Portland Cement Concrete
a. All concrete, unless otherwise specified, shall have a minimum compressive strength of 3,500 psi at 28 days for pavement and 3,000 psi at 28days for non-pavement applications.
b. All concrete shall be vibrated when placed and not raked a distance greater than 10 feet.
c. Unless otherwise noted, joint spacing shall not exceed 15 feet in any direction to another joint.
d. Expansion joints shall not exceed a maximum spacing of 45 feet and should not be placed through the middle of area inlets or junction boxes located in the pavement.
e. All joints shall be sealed with Sonoborn Sonolastic SL-1, or an approved equal.
f. Concrete shall not be placed if the air temperature is 50° F and falling or 95° F or higher.

Steel

- a. All reinforcing steel shall be deformed billed steel bar having a minimum yield strength of not less than 60 KSI conforming to ASTM A615, Grade 60.
b. All reinforcing steel shall be free from rust or other bond reducing agents.
c. All splices in pavement and curbing steel shall be staggered and lapped 30 inches times the bar diameter or 12 inches, whichever is greater.
d. Concrete coverage for the reinforcing steel shall comply with the ACI code, latest edition. The steel shall have a minimum 1 1/2 inch clearance.

Gas Company Notes:

- 1. At all underground gas utility crossings, the contractor shall give the appropriate utility company a minimum of 72 hours notice so that their field representative may be present.
2. Eighteen (18) inch clearance shall be maintained between the proposed utility and the existing underground gas line.
3. For excavation near the underground gas line(s), the contractor shall cover, or remove, the bucket teeth of the excavator.

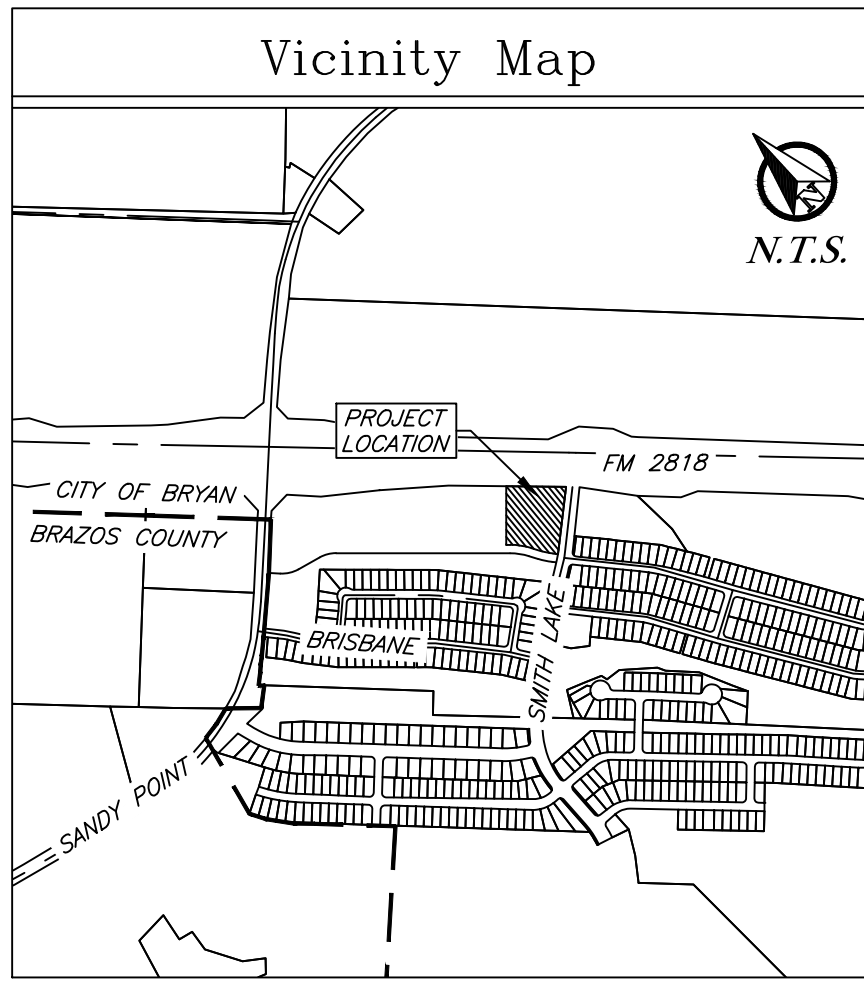
Traffic Control Notes:

- 1. Contractor shall provide and install traffic control devices in conformance with part VI of the Texas Manual on Uniform Traffic Control Devices (Texas MUTCD, most recent edition with revisions) during construction.
2. Lane closure will not be allowed unless approved by the TxDOT or COB representative, as applicable.
3. The work shall be completed such that the roadway will be fully opened to traffic overnight.
4. Plastic drums shall be used for overnight delineation of off roadway work areas.

Legend
Line Types
W-8 Existing Water Line, Size Noted
W-6 Proposed Water Line, Size Noted
W Existing Water Service
W Proposed Water Service
S-8 Existing Sanitary Sewer Line, Size Noted
S-8 Proposed Sanitary Sewer Line, Size Noted
S Existing Sanitary Sewer Service
S Proposed Sanitary Sewer Service
ST Existing Storm Sewer Piping
ST Proposed Storm Sewer Piping
GAS Existing Natural Gas Line
GAS Proposed Natural Gas Line
UE Existing Underground Electrical Line
UE Proposed Underground Electrical Line
AE Existing Aerial Electrical Line
AE Proposed Aerial Electrical Line
T Existing Underground Telephone
T Proposed Underground Telephone
Existing Contour, Elevation Noted
Proposed Contour, Elevation Noted
Existing Easement
SILT Silt Fence
Existing Chain Link Fence
Proposed Chain Link Fence
Existing Wire Fence
Existing Board Fence
Proposed Board Fence
Symbols
Hydrant, Water Valve, Water Manhole, Water Meter, Phone Pedestal, Sign, Storm Grate Inlet, S.E.T., Sewer Manhole, Sewer Clean-Out, Mail Box, Power Pole
Abbreviations
TP Top of Pavement W/ With
TC Top of Curb W/OUT With Out
TG Top of Ground S.E.T. Sloped End Treatment
TW Top of Walk BM Bench Mark
TI Top of Inlet TBM Temporary Bench Mark
TR Top of Wall SY Square Yard
FL Flow Line LP Linear Foot
TS Top of Step CF Clean Out
Min Minimum O.C. On Center
Max Maximum O.C.E.W. On Center Each Way
N.T.S. Not to Scale PSI Pounds per Square Inch
PI Point of Inflection PVC Polyvinyl Chloride
PT Point of Tangency RCP Reinforced Concrete Pipe
PC Point of Curvature PVMT Pavement
Sch Schedule H Horizontal
R.O.W. Right of Way V Vertical

Notes
General Notes:
1. It is the intent of these plans to comply with all City of Bryan guidelines, details and specifications.
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Not for Construction
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Released for Review
Firm Name and Address:
I4 Engineering
PO Box 5192 - Bryan, Texas - 77805
979-739-0567 www.I4Engineering.com
Firm # 9951
Project Name and Address:
Greens Crossing C-Store
Green's Crossing
Block 1, Lot 1 - 2.771 Acres
Bryan, Brazos County, Texas
Date: Feb 2024
Scale: As Noted
Sheet: C1

J4 Engineering 02/21/2024 Greens Crossing C-Store Site Plan.dwg J4E Project # 23-027



Parking Analysis:

Proposed Improvements:
1,500 SF Lease Unit
5,000 SF C-Store
2,000 SF Drive Thru
New Required Parking:
43... 1 Space per 200 SF Building
43... Total Required
New Provided Parking
51... Straight in Parking
2... ADA Parking
10... Pump Parking
63... Total Provided

- Construction Notes:**
- All proposed sewer cleanouts that are to be placed within a concrete sidewalk shall be set at the same grade as the sidewalk and utilize a flush mount, brass cap, so that there are no tripping hazards.
 - All fill subgrade and base material shall be compacted to 98% STD in areas to be paved and 95% STD in all other areas.
 - All items to be removed during clearing and grubbing. Remove not only the above ground elements, but all underground elements as well. All excavated material shall become the property of the contractor unless otherwise directed by the Owner. All debris must be disposed of off site.
 - Prior to grading operations, contractor is to strip the first 6" of soil. Contractor shall proof roll the entire site and remove any unstable materials according to TxDOT Specifications. Select fill is to be used in replacing objectionable material.
 - Assure positive drainage across project site to the storm water structures.
 - The proposed limestone gravel pavement area shall follow the same detail and specifications as the asphalt parking lot, omitting the prime coat and asphalt-cement wearing surface. Limestone gravel surface shall be rolled smooth to finish grade.
 - Each utility contractor is responsible for positioning and trenching of service lines. Mark all lines with utility tape. Utility contractors are responsible for coordinating with paving contractor in placement and installation of any necessary utility conduit prior to subgrade preparation. Lines requiring slope control are to be installed first. All other lines not requiring slope control or elevation shall be installed deepest first. Each contractor is responsible for knowing final determination of installation order.
 - Materials and methods for pavement markings shall conform to TxDOT Standard Specifications for Construction of Highways, Streets, and Bridges (current edition), with the following exceptions: 1) Type II marking materials need not be purchased from the Department, and 2) Glass beads may be omitted, but marking material shall be Type II paint-type material.
 - Fire Sprinkler System- potable water supply must be protected by testable double check valve assembly, and install as per City Ordinance.
 - Potable Water Protection - All devices, appurtenances, appliances, and apparatus intended to serve some special function and that connects to the water supply system, shall be provided with protection against backflow and contamination of the water supply system.
 - The Contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The Contractor shall use all means necessary to prevent the occurrence of windblown litter from the project site.
 - Demolition/Construction Waste - Site is required to provide containment for waste prior to and during demolition/construction. Solid waste roll off boxes and/or metal dumpsters shall be supplied by City to permitted contractor(s) only.
 - Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove, and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on property adjacent to the PUE to access electric facilities.

- Site Specific Notes:**
- The owner of the property is STTC, LLC. The developer of the property is Greens Crossing Center, LLC. The subject property is Block 1, Lot 1, Greens Crossing, Bryan, Brazos County, Texas.
 - The proposed building is One-Story Type IIb without fire sprinklers totaling 8,580 SF, FF=311.75' & Height 16'.
 - The subject property is zoned Planned Development - Mixed Use via Ordinance Number 2308.
 - Fire flow demand is 2,000 gpm. The existing hydrants at the intersection of Smith Blake and FM 2818 and on the property will provide the fire flow for this project.
 - No portion of this tract lies within a designated 100-yr floodplain according to the F.I.R.M. Maps Panel No. 48041C0195E, Revised Date, May 16, 2012.
 - The developed area for this project is 2.771 acres (120,704 SF).
 - Solid waste service will be provided by two onsite dumpsters.
 - All minimum building setbacks shall be in accordance with City of Bryan Ordinances.
 - Owner shall be responsible for the operation, repair, and maintenance of the private stormwater infrastructure.
 - This site will not be permitted for the following uses: sale/rental of vehicles, auto repair, and/or outside storage/display of merchandise/vehicles.
 - All signage to be permitted separately.

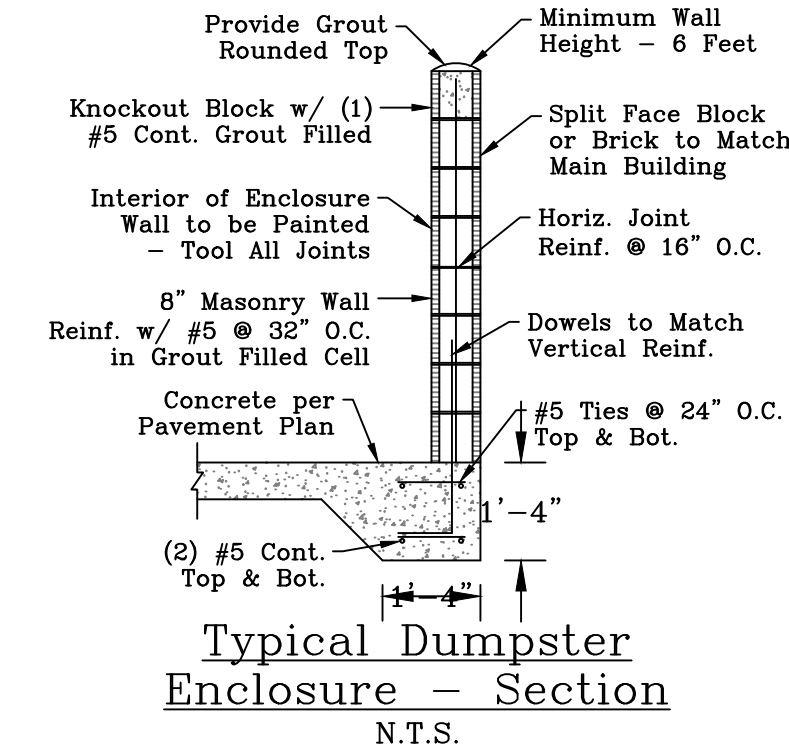
- Utility Notes:**
- Private water line and private sanitary sewer line construction shall be in accordance with the plumbing code. Cleanouts shall be installed per plumbing code.
 - Private water and sewer line service materials to be in accordance with plumbing code.
 - Contractor shall coordinate conduit and/or line installation for telecommunication providers for the site.
 - Depth of the existing water and sewer lines to be verified by the contractor.
 - Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove, and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on the property adjacent to the PUE to access electric facilities.

NOTICE!

The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. It is the contractor's responsibility to avoid all existing utilities and repair any damaged lines, at his own expense, whether the utility is shown on these plans or not. The contractor shall notify the appropriate utility company 48 hours prior to any excavation.

Contact Information:

Texas One Call:	800-245-4545
Lone Star One Call:	800-689-8344
Texas Excavation Safety:	800-344-8377
City of Bryan:	979-209-5900
System (Digtess):	
Bryan Texas Utilities:	979-821-5865
Atmos Energy:	979-774-2506
Frontier:	979-821-4300
Suddenlink:	979-846-2229



- Notes:**
- The sign shall be 12" wide by 18" in height stating "FIRE LANE DESIGNATED PARKING ONLY" with a companion sign 12" wide and 6" in height stating "TOW AWAY ZONE" and be mounted in the location shown.
 - Sign shall be painted on white background with symbols, letters, and border in red.
 - Sign shall comply with City of Bryan Ordinance 42-6.

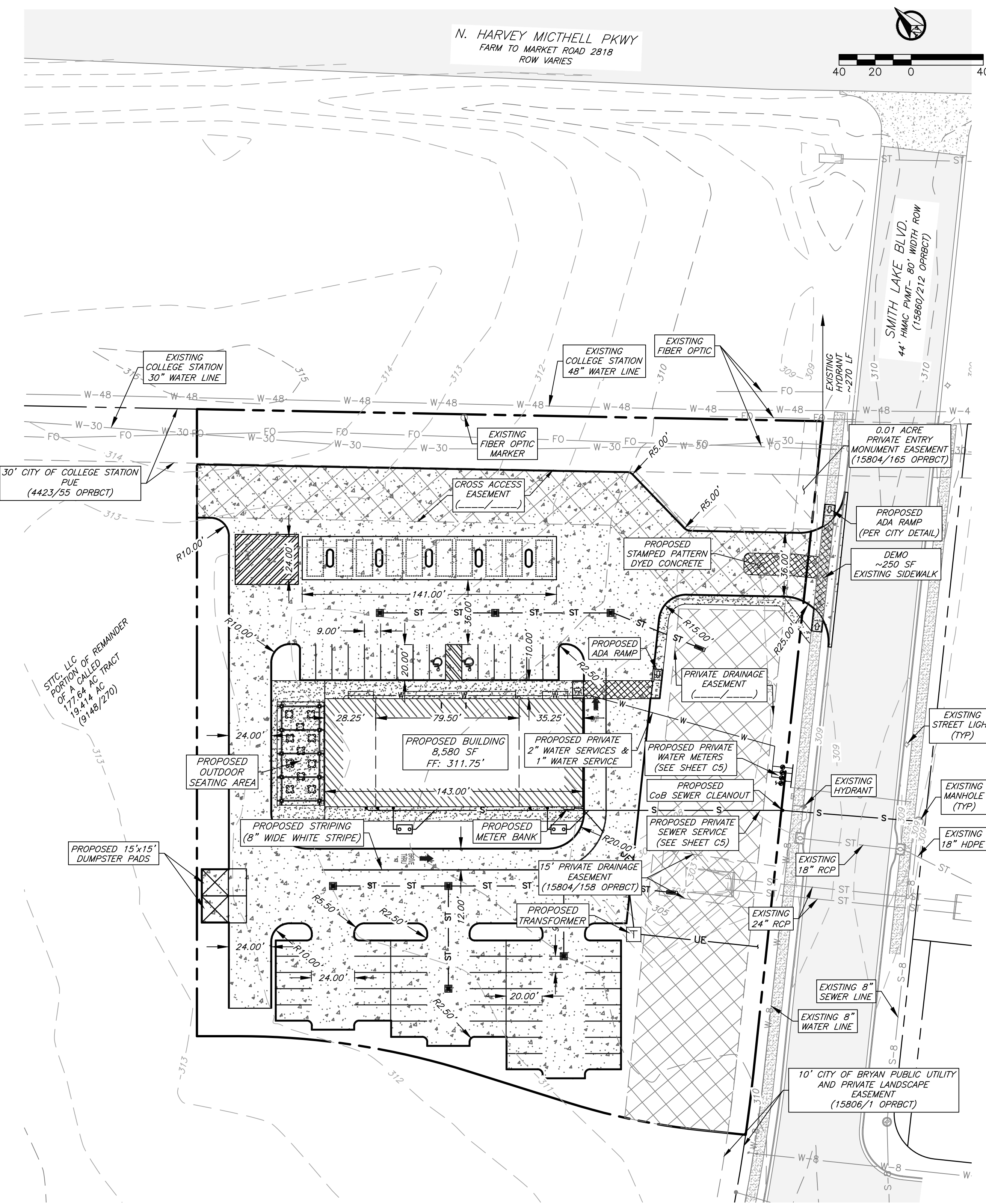
Fire Lane Sign Detail
N.T.S.

Fire Lane Striping:

All curbs and curb ends shall be painted red with 4" white lettering stating "FIRE LANE-NO PARKING-TOW AWAY ZONE". The phrases should be spaced 15' apart continuously. Fire Lane linework shown on this Site Plan is used to delineate the location of the fire lane for permitting purposes and is not intended to show required painted Fire Lane Striping.

■ FIRE LANE ■ NO PARKING ■ TOW AWAY ZONE ■

Note: Fire lane shall not be painted on Flat work/surface with use of Fire Lane Signage.



Site Plan

- General Notes:**
- The topography shown is from field survey data.
 - Refer to Final Plat for all lot dimensions and bearings.
 - All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
 - The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
 - All construction shall be in accordance with the current BCS Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
 - It is the intent of these plans to comply with all City of Bryan guidelines, details, and specifications.
 - See Sheet C1 - General Notes.

Owner:
STTC, LLC
11767 Katy Freeway
Suite 510A
Houston, TX 77079

Developer:
Greens Crossing Center, LLC
2211 S. 1-35 Frontage Road
Suite 208
Austin, TX 78741

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Not for Construction**

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Released for Review

No.	Revision/Issue	Date

Firm Name and Address:

PO Box 5192 - Bryan, Texas - 77805
979-739-0567 www.J4Engineering.com
Firm# 9951

Project Name and Address:

**Greens Crossing
C-Store**

Green's Crossing
Block 1, Lot 1 - 2.771 Acres
Bryan, Brazos County, Texas

Date: Feb 2024	Sheet: C2
Scale: As Noted	

SWPPP Information:

Nature of Construction Activity:
Pavement, drainage, and utility improvements for a site development. Potential pollutants and sources – Sediment from excavations and equipment movements around the site.

- Schedule of Events:**
1. Install silt fencing.
 2. Install stabilized construction exit.
 3. Clear and grub.
 4. Install utilities and storm culverts.
 5. Apply pavement.
 6. Complete grading and install permanent seeding.
 7. When all construction activity is completed the site is stabilized. Remove silt fence and re-seed any area disturbed during construction and assure a healthy ground cover.

Areas of Disturbance:
During the construction of the pavement, drainage, and utility improvements the area that will be disturbed includes the street right-of-ways and the water and sanitary sewer connections to existing lines.

Structural Controls:
Temporary stabilization ~ areas where construction activity temporarily ceases for at least 21 days will be stabilized with temporary seed no later than 14 days from the last construction activity in that area all proposed fill material will be seeded.

Silt fence and/or hay bales will be installed at all outfalls, areas where water runs off the site; inlets under construction will have silt fencing or hay bales placed around the perimeter of the inlet all constructed inlets will have sandbags placed in front of the throat to collect sediment but allow flow of water into the inlet.

Storm Water Management:
Storm water drainage will be controlled by drainage ditches and a detention pond for the developed area. All areas affected by construction will be fine graded and have permanent seeding. The remainder of the area will remain in its natural state.

Offsite vehicle tracking:
A stabilized construction entrance will be provided to help reduce vehicle tracking of sediments. The paved street adjacent to the site entrance will be swept to remove any excess mud, dirt, or rock tracked from the site. Dump trucks hauling material from the construction site will be covered with a tarpaulin.

Certification of Compliance with State and Local Regulations:
This storm water pollution prevention plan reflects the city's requirements for storm water management, erosion, and sediment control. To ensure compliance, this plan was prepared in accordance with the city's drainage policy. There are no other applicable state or federal requirements for sediment and erosion site plans (or permits) or storm water management site plans (or permits).

- Maintenance/Inspection Procedures:**
These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls:
- All control measures will be inspected at least once every 14 days and following any storm event of 0.5 inches or greater.
 - All measures will be maintained in good working order; if a repair is necessary it will be initiated within 24 hours of the report.
 - Built up sediment will be removed from silt fence when it has reached one-half the height of the fence.
 - Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
 - Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.
 - A maintenance inspection report will be made after each inspection. The inspection report form will be prepared by the site superintendent and filed for record.
 - A site superintendent will be responsible for inspections, maintenance and repair activities, and filling out the inspection and maintenance report.

Non-Storm Water Discharges:
It is expected that the following non-storm water discharges will occur from the site during the construction period:

- Water from water line flushing

Site Description:

Project name and location:
Green's Crossing C-Store
Bryan, Brazos County, Texas

Owner and Developer:
STTC, LLC
11767 Katy Frwy
Site 510A
Houston, Texas 77079

The site is not located on Indian lands.

Latitude: 30° 40' 45.24" N
Longitude: 96° 25' 4.47" W

MS4 operator name: City of Bryan, Texas

Receiving water body: Carter's Creek

Estimated area to be disturbed: 2.771 acres

The storm water pollution prevention plan shall be in compliance with state and local sediment and erosion plans.

Operator Requirements:
The operator shall submit a NOI to TCEQ and a copy to the operator and post a copy at the construction site in a location where it is readily available for viewing prior to commencing construction activities, and maintain the notice in that location until completion of the construction activity.

The operator shall provide a copy of the NOI to the operator of the municipal separate storm sewer system receiving the discharge, at least two (2) days prior to commencing construction activities.

The operator shall submit a NOT to TCEQ and a copy to the operator of the municipal storm sewer system once the final stabilization has been achieved and the temporary erosion controls have been removed.

Controls must be developed to limit, to the extent practicable, offsite transport of litter, construction debris and construction materials.

Operator Inspection Requirements:
The following records must be maintained and either attached to or referenced in the storm water plan:

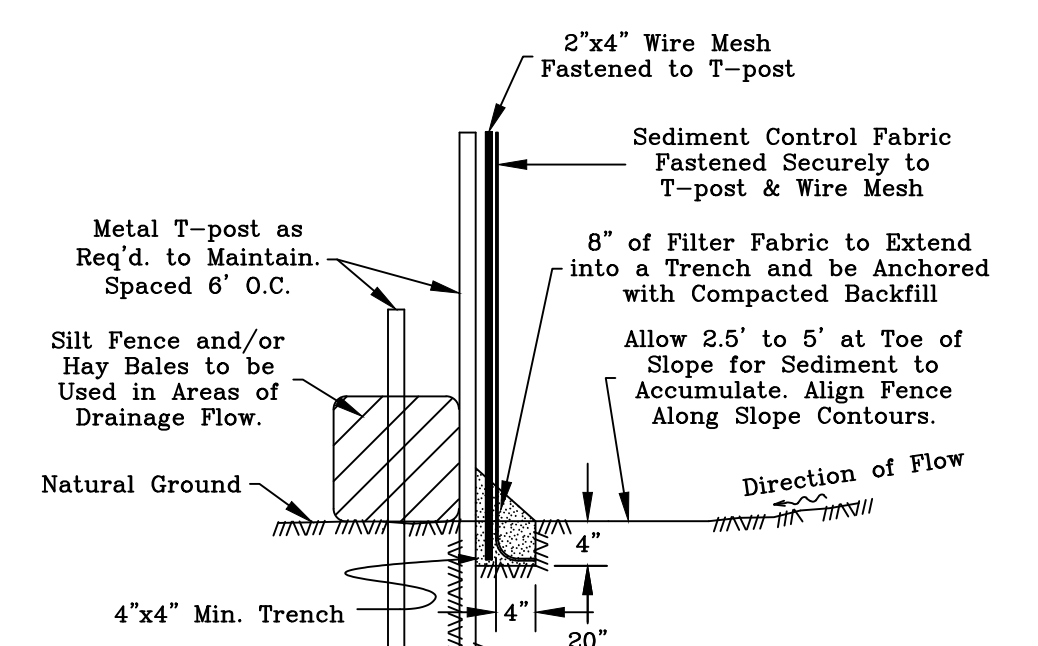
- The dates when major grading activities occur.
- The dates when construction activities temporarily or permanently cease on a portion of the site.
- The dates when stabilization measures are initiated.

A report summarizing the scope of the inspection, names and qualifications of personnel making the inspection, the dates of the inspection, and major observations must be made and retained with the storm water plan. Major observations should include:

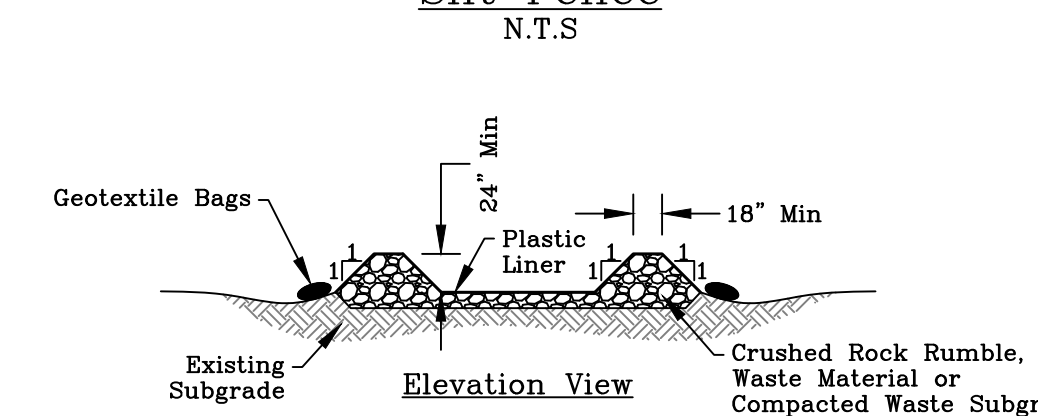
- The locations of discharges of sediment or other pollutants from the site;
- Locations of BMP's that failed to operate as designed or proved inadequate for a particular location; and
- Locations where additional BMP's are needed.

Operator's Record Keeping:
The permittee must retain the following records for a minimum of 3 years from the date that a NOT is submitted:

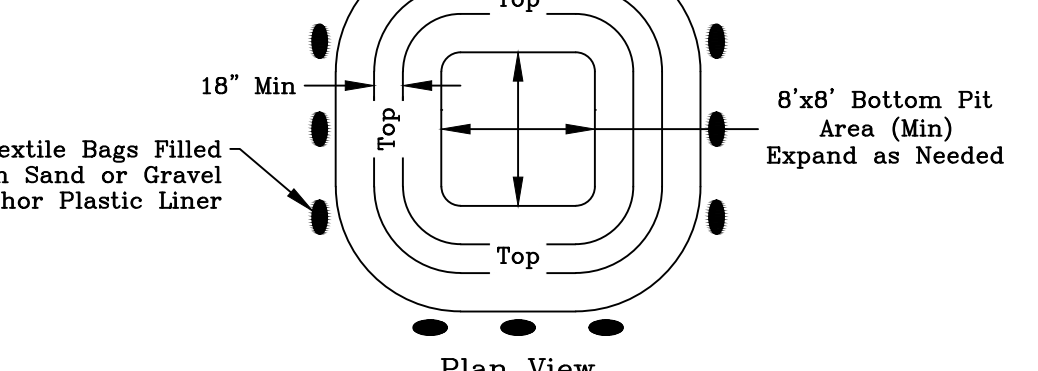
- A copy of the storm water plan and
- All reports and actions required by this permit, including a copy of the construction site notice all data used to complete the NOI.



Silt Fence
N.T.S.

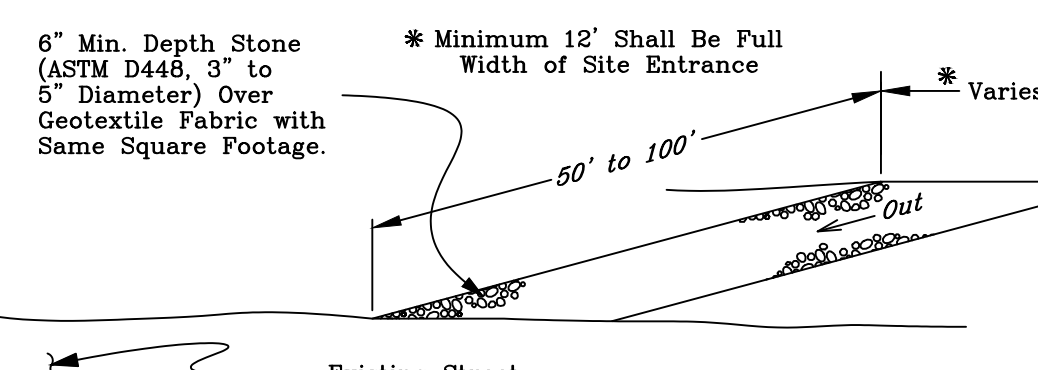


Elevation View
N.T.S.

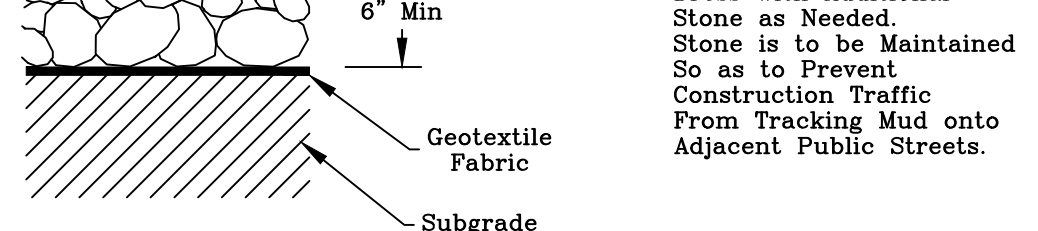


Plan View
N.T.S.

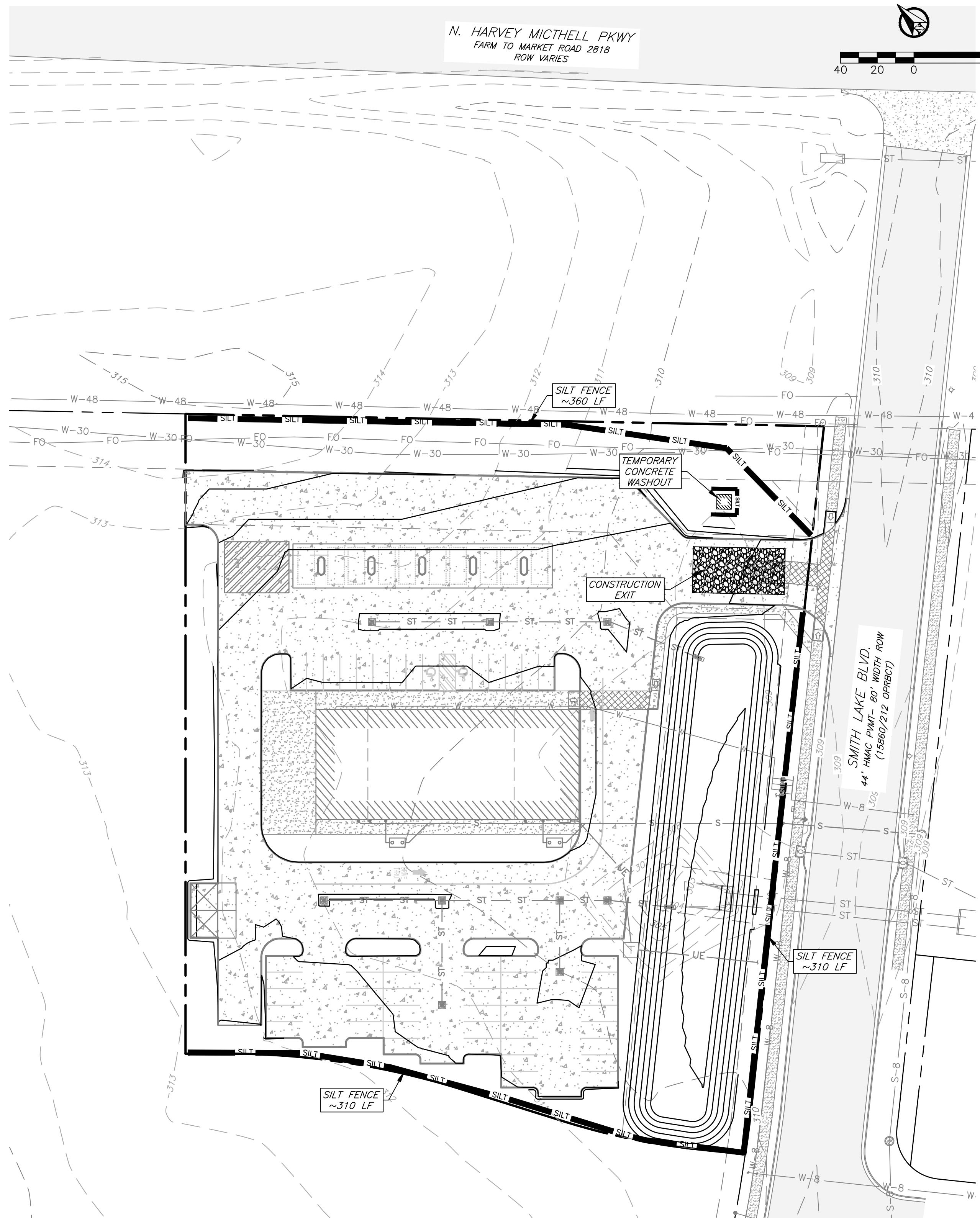
Concrete Washout
N.T.S.



Construction Exit Detail
N.T.S.



Construction Exit Detail
N.T.S.



Erosion & Sedimentation Control Plan

General Notes:

1. Approved erosion control measures must be installed during the entire time that earth has been bared by construction.
2. It is the responsibility of the contractor to use what ever means necessary to minimize erosion and prevent sediment from leaving the project site.
3. The contractor is responsible for implementing, inspecting, and maintaining the erosion and sediment control devices.
4. Phase II erosion control measures shall be implemented immediately after construction of their associated improvements. Inlet protection barriers shall be constructed with sediment filter socks. Inlets located in pavements areas shall be protected with sediment filter socks. Erosion control measures shall be kept in place until upstream drainage areas are fully stabilized.
5. Construction exit is to be dressed with additional rock as needed and maintained so as to prevent construction traffic from tracking mud onto adjacent public streets.
6. Inspections shall be performed every 14 days and after every rainfall event of 1/2" or more. All erosion control devices shall be cleaned of silt (as needed) after every rain.
7. The contractor is responsible for complying with the TPDES General Permit No. TXR150000 requirements for construction sites.
8. All areas where existing vegetation and grass cover have been bared by construction shall be adequately hydromulched and watered until growth is established. All erosion control measures shall remain in place until acceptable vegetative growth is established after construction is complete and then removed by contractor.
9. It is the intent of these plans to comply with all City of Bryan guidelines, details & specifications.
10. See Sheet C1 - General Notes

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Released for Review

No.	Revision/Issue	Date

Firm Name and Address:

 PO Box 5192 - Bryan, Texas - 77805
 979-739-0567 www.J4Engineering.com
 Firm# 9951

Project Name and Address:
Greens Crossing C-Store
 Green's Crossing
 Block 1, Lot 1 - 2.771 Acres
 Bryan, Brazos County, Texas

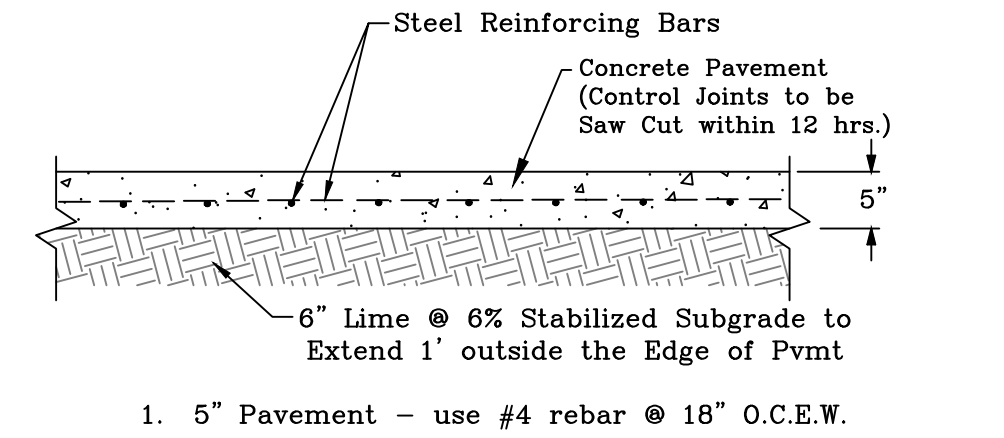
Date: Feb 2024	Sheet: C3
Scale: As Noted	

Paving Notes:

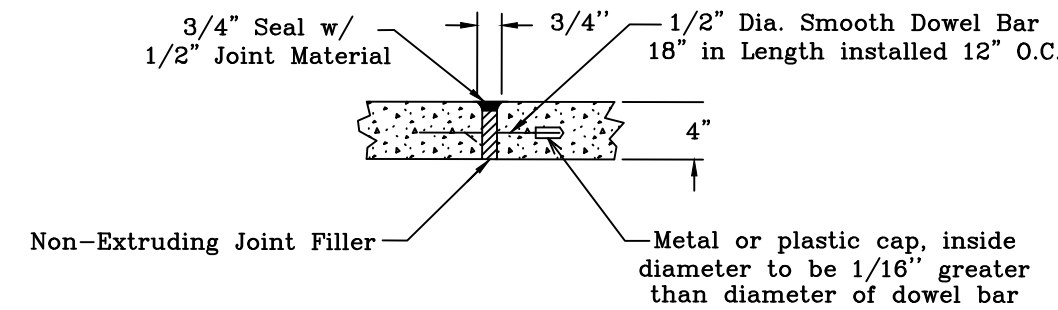
- All concrete for pavement construction shall be to the minimum depth shown on the plans and shall have a minimum 28-day compressive strength of 3,500 PSI. The maximum percentage of fly ash replacement of Portland cement shall be 20 percent by weight.
- Item 360 of the TxDOT "Standard Specifications for Construction and Maintenance of Highways, Street, & Bridges" shall be used as a technical specification for reinforced concrete pavement.
- All paving requirements shall be in accordance with the "CREI RV/Boat Storage Facility" Geotechnical Engineering Report, dated Aug 10, 2023, prepared by Terracon.
- The subgrade beneath the concrete sidewalks shall be compacted and "proof-rolled" any weak or soft areas identified by the "proof-rolling" shall be removed and replaced.
- A sand leveling course under concrete pavement is NOT permitted.
- Joint sealant material to be Sonneborn SL-1 or approved equal.
- Curing compound shall be applied uniformly to the concrete after the surface finishing is complete at the rate recommended by the manufacturer. The curing compound shall meet the requirements of TxDOT Item 526.
- Contractor shall provide engineer with a proposed pavement expansion and contraction joint plan prior to pavement construction.
- See Sheet C1 - General Notes.

Grading Notes:

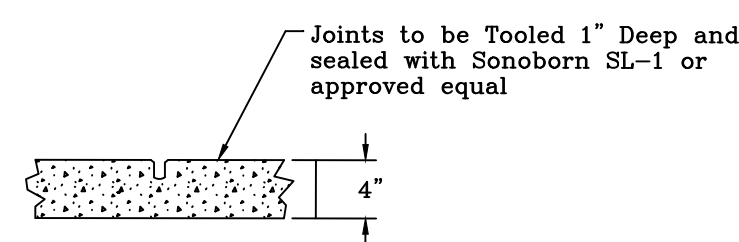
- Fill material used to achieve grade in areas to receive pavement or within the street right-of-way shall be compacted to at least 98% of the maximum dry density as determined by the standard proctor test, (ASTM D698) at a moisture content from optimum moisture content to 4% above the optimum moisture content. Areas outside of the street right-of-way shall be compacted to 95% of the maximum dry density.
- The subgrade beneath the concrete sidewalks shall be compacted and "proof-rolled". Any weak or soft areas identified by the "proof-rolling" shall be removed and replaced.
- ADA ramp slopes shall not exceed 1v:12h.
- The topography shown is from field survey data.
- Structural backfill for utility or storm drain trenches is required whenever the trench is within 5' of pavement or sidewalk.
- The contractor shall follow the general intent of the grading plans. minor adjustments to the actual elevations shown on the grading plan may be required to match existing ground elevations and structures. the proposed contour lines shown are approximate only, the design grade spot elevations should be used for construction of the site work.
- Refer to pavement plan for pavement construction details and notes.
- The contractor shall salvage all topsoil and replace it on all disturbed areas. all parking lot islands and areas adjacent to parking and sidewalk areas shall receive 6" sandy loam topsoil prior to placement of grass sod or hydromulch.
- The contractor shall field verify and locate all existing utilities on site prior to demolition.
- The contractor shall install all erosion and sediment control devices, as shown, prior to commencing demolition work.
- Should any existing utilities not shown or shown incorrectly on this plan be found on site, the contractor shall contact the design engineer immediately to discuss any possible conflicts before proceeding with any work in that area.



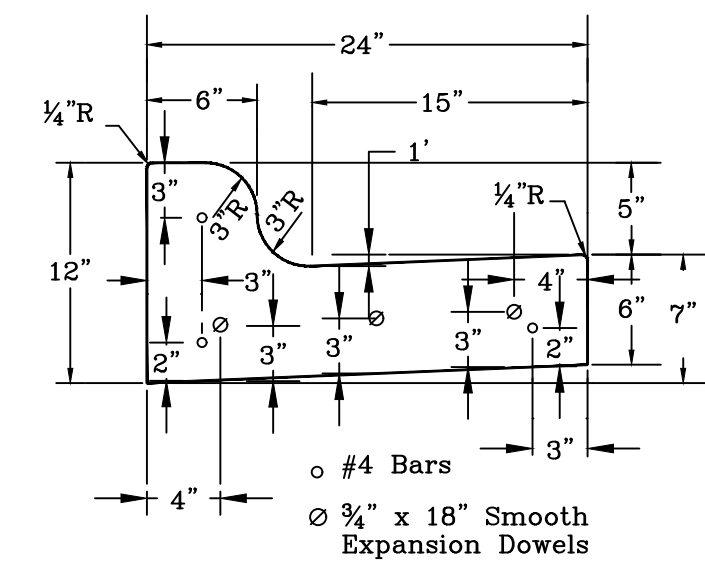
Typical Concrete Paving Section
N.T.S.



Expansion Joint Detail
N.T.S.



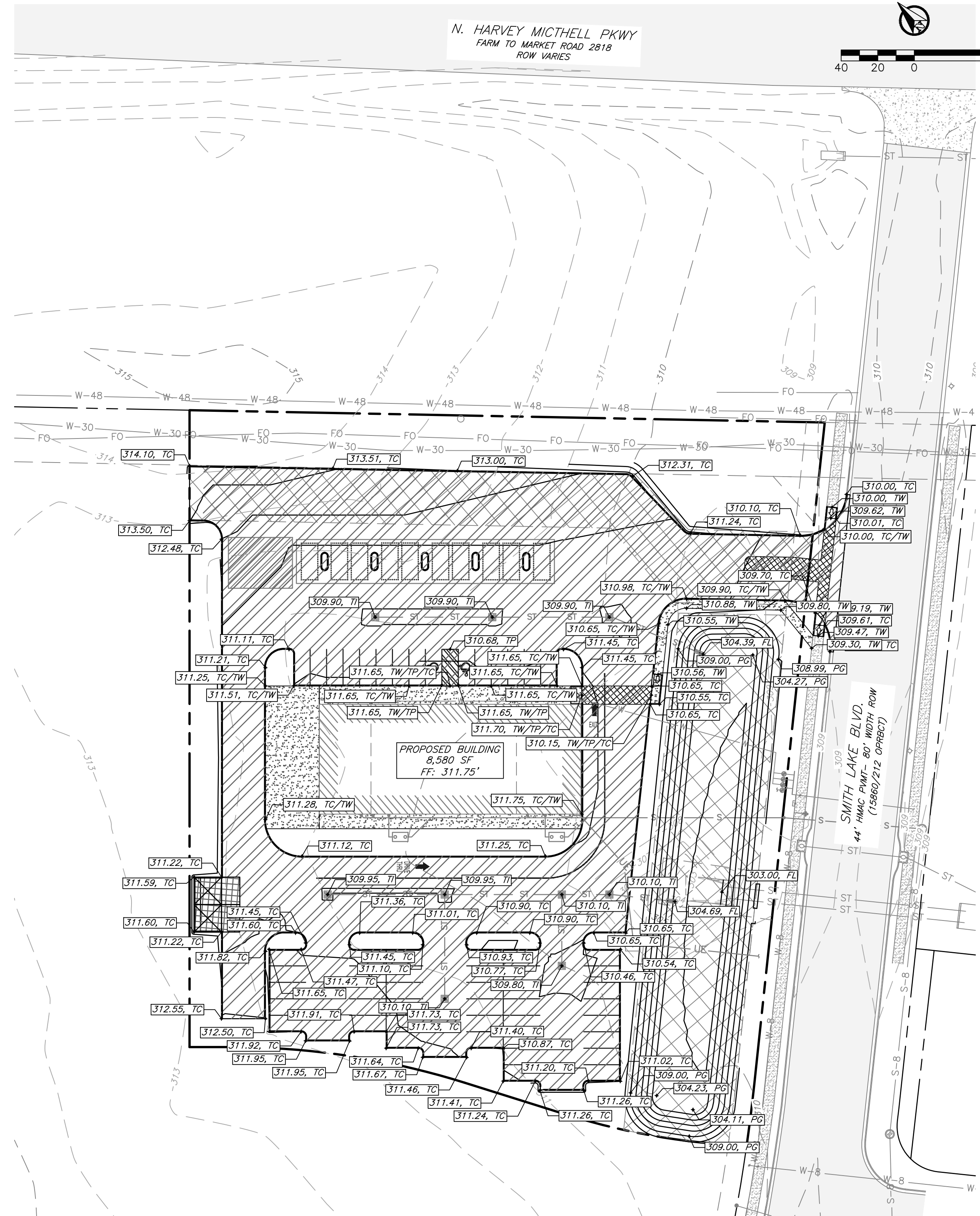
Contraction Joint Detail
N.T.S.



Driveway Raised Curb Detail
N.T.S.

Legend

	Existing FMAC Pavement
	Existing Concrete Pavement
	Existing Sidewalk Pavement
	Proposed Sidewalk Pavement



Pavement & Grading Plan

General Notes:

- The topography shown is from field survey data.
 - Refer to Final Plat for all lot dimensions and bearings.
 - All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
 - The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
 - Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
 - All construction shall be in accordance with the current BCS Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
 - The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with the project and shall use all means necessary to prevent the occurrence of wind blown litter.
 - It is the intent of these plans to comply with all City of Bryan guidelines, specifications & details.
 - See Sheet C1 - General Notes
- TC - Top of Curb
 TP - Top of Pavement
 TW - Top of Sidewalk
 PG - Proposed Ground

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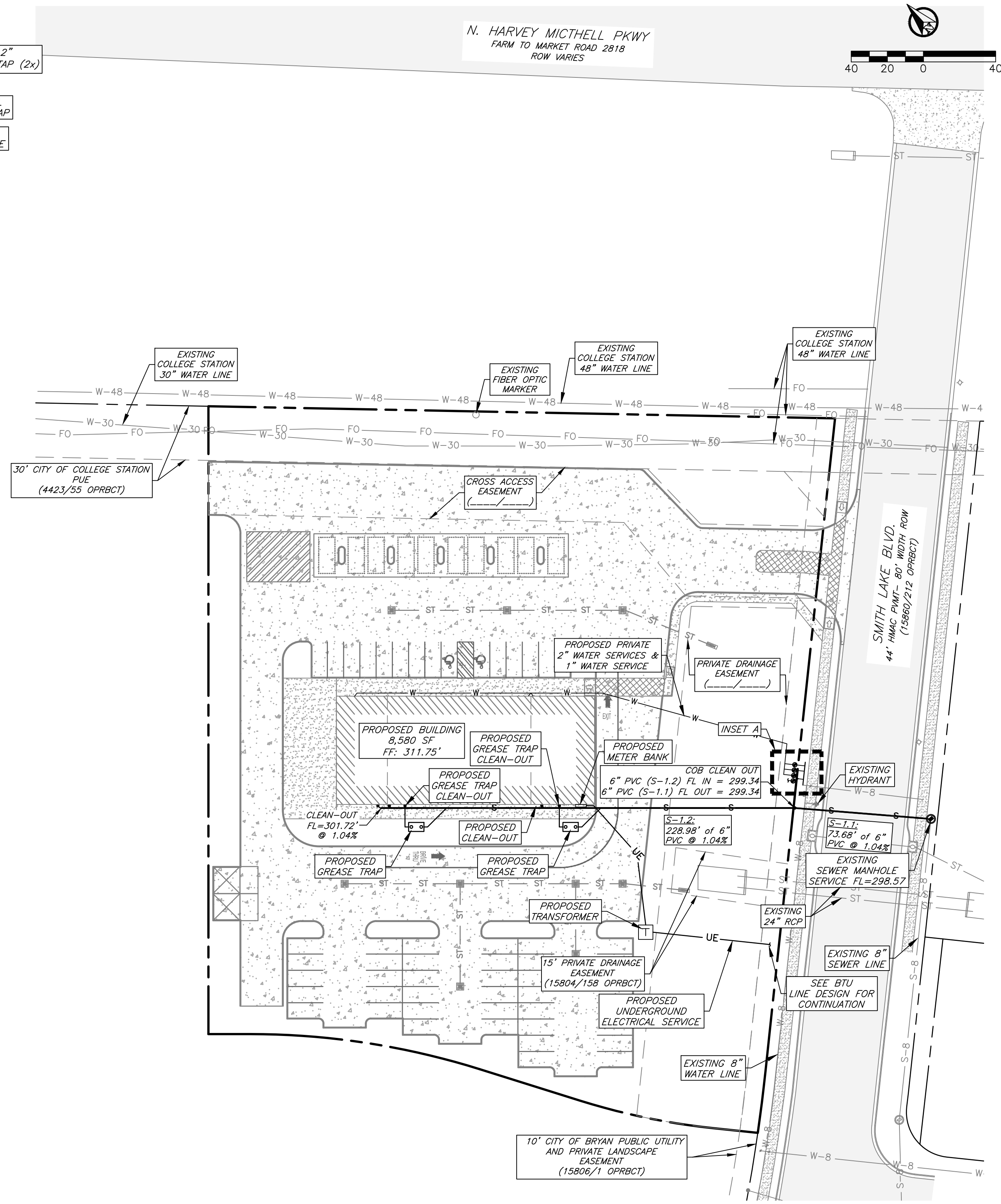
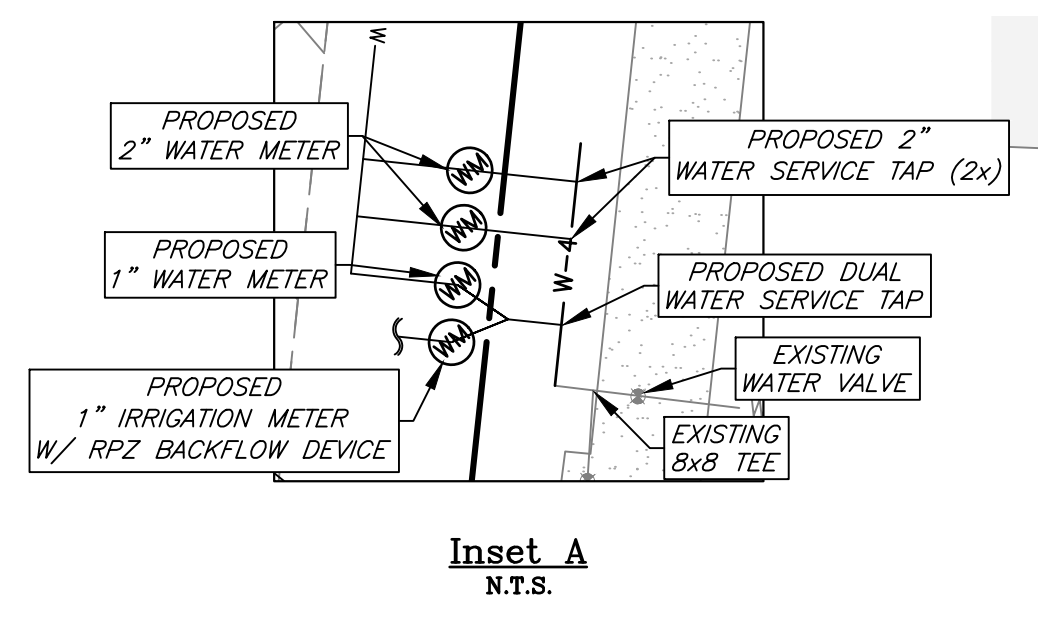
Project Name and Address:

**Greens Crossing
C-Store**

Green's Crossing
Block 1, Lot 1 - 2.771 Acres
Bryan, Brazos County, Texas

Date: Feb 2024 **Sheet:**

Scale: As Noted **C4**



Utility Plan

General Notes:


1. Refer to Final Plat for all lot dimensions and bearings.
2. The topography shown is from field survey data.
3. All dimension are to back of curb or edge of pavement, unless otherwise noted.
4. It is the intent of these plans to comply with all City of College Station guidelines, specifications, & details.
5. The topography shown is from field survey data.
6. Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
7. All proposed elevations shown are finished grade.
8. All construction shall be in accordance with the current BCS Unified Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
9. See Sheet C1 - General Notes

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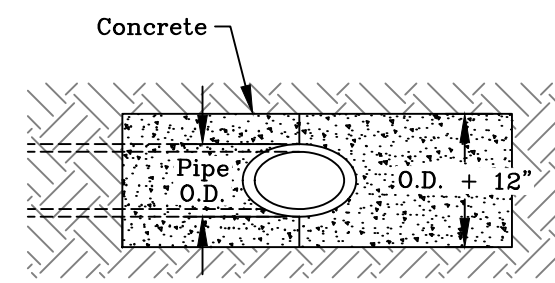
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No.	Revision/Issue	Date

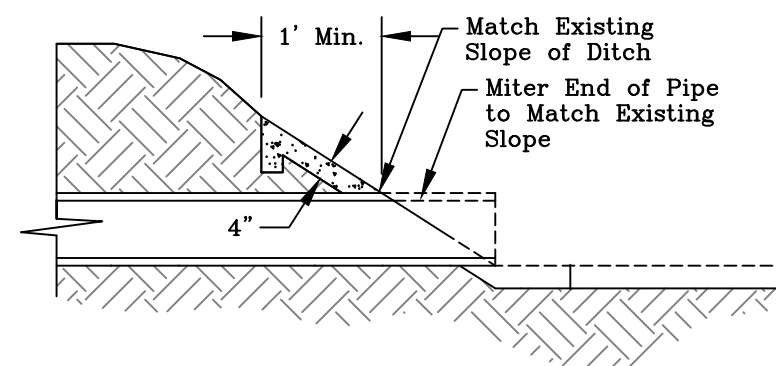
Firm Name and Address:

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 Firm# 9951

Project Name and Address:
Greens Crossing C-Store
 Green's Crossing
 Block 1, Lot 1 - 2.771 Acres
 Bryan, Brazos County, Texas

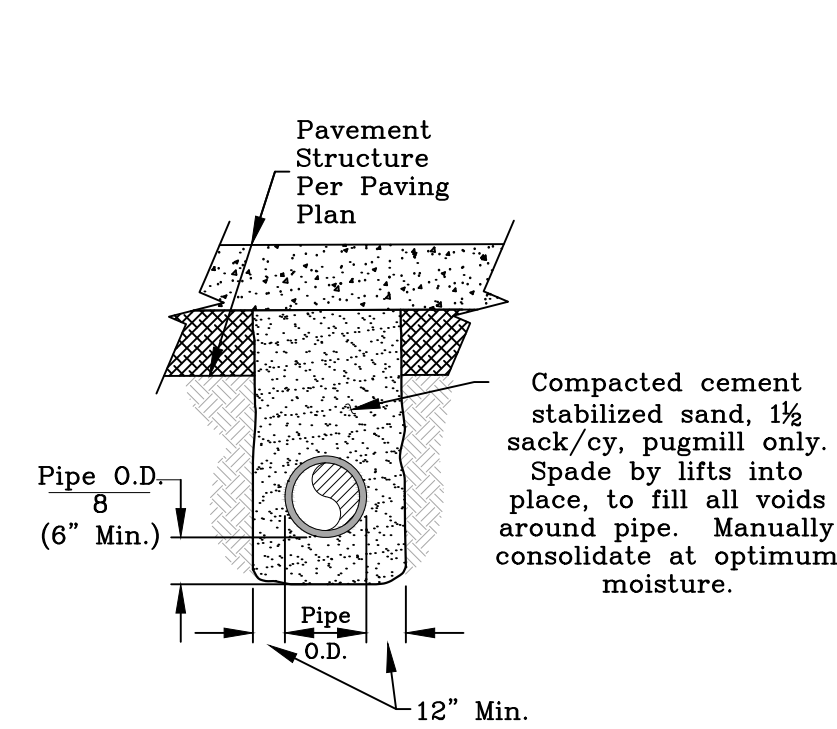
Date: Feb 2024
Scale: As Noted
Sheet: C5



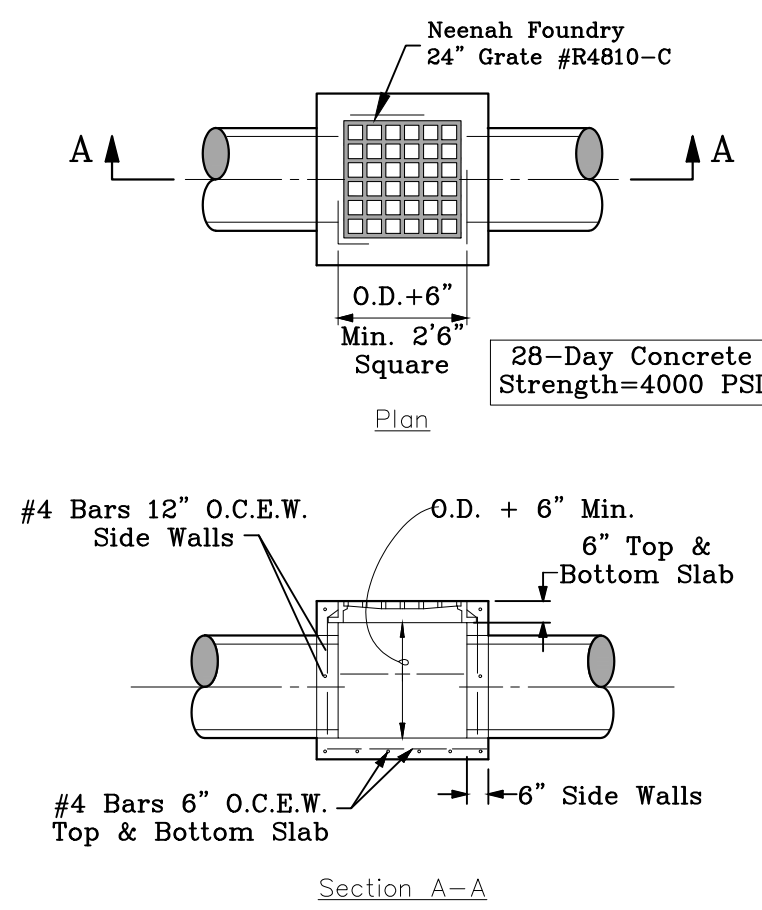
Sloped End Treatment - Plan
N.T.S.



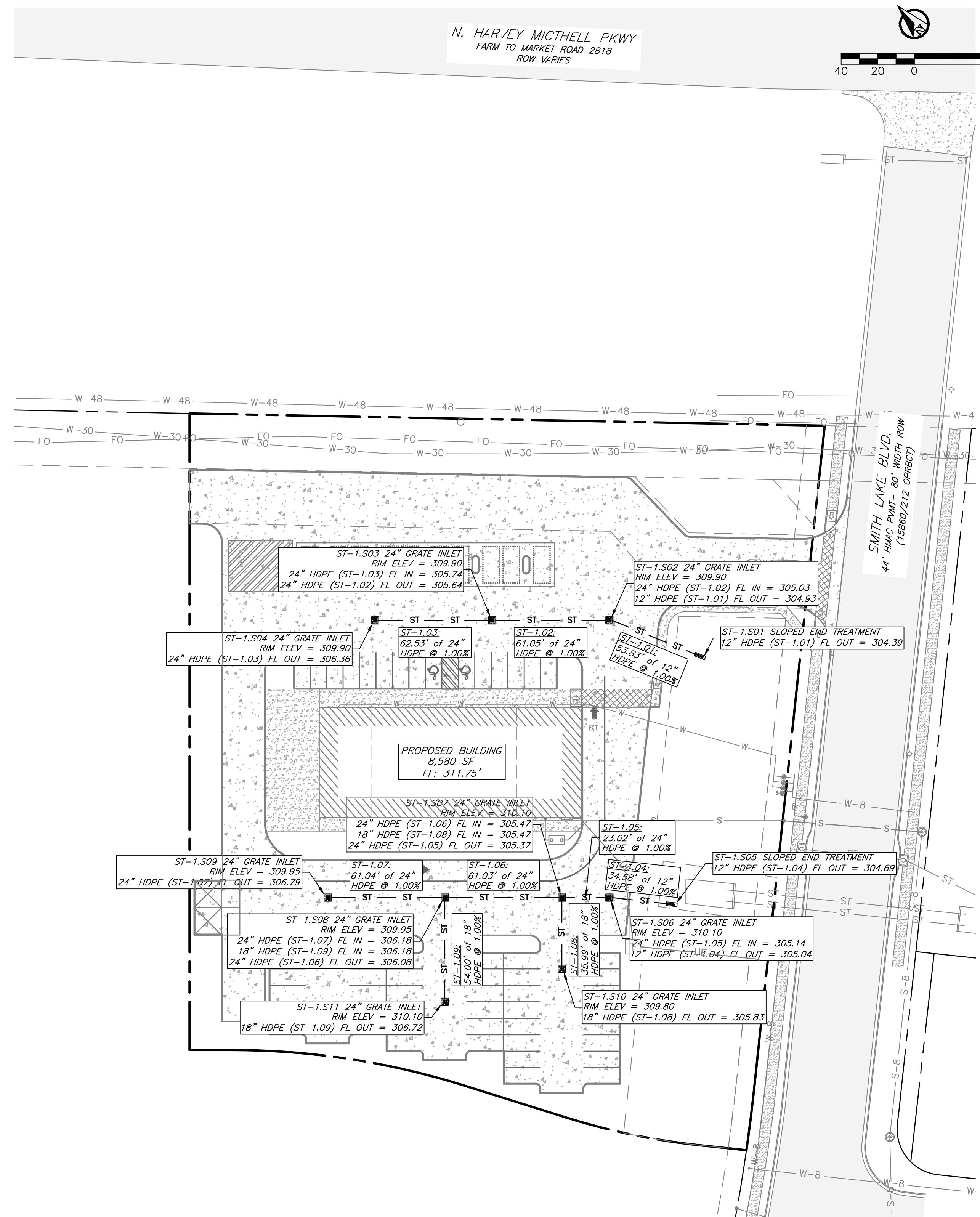
Sloped End Treatment - Profile
N.T.S.



Bedding and Trench Backfill for HDPE/PVC Pipe - Structural Areas
N.T.S.



Grate Inlet Detail (Type A)
N.T.S.



Drainage Plan

General Notes:


1. Refer to Final Plat for all lot dimensions and bearings.
2. The topography shown is from field survey data.
3. All dimension are to back of curb or edge of pavement, unless otherwise noted.
4. It is the intent of these plans to comply with all City of College Station guidelines, specifications, & details.
5. The topography shown is from field survey data.
6. Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
7. All proposed elevations shown are finished grade.
8. All construction shall be in accordance with the current City of College Station Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
9. See Sheet C1 - General Notes

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Greens Crossing C-Store
 Green's Crossing
 Block 1, Lot 1 - 2.771 Acres
 Bryan, Brazos County, Texas

Date: Feb 2024	Sheet: C6
Scale: As Noted	

Landscape Notes:

- All trees shall be provided as container grown trees.
- All landscaping plant material shall be guaranteed for a period of thirty days from the date of installation by contractor. After thirty days, the owner will be responsible for maintenance of all landscaping.
- The property owner is responsible for regular weeding, mowing, fertilizing, and other maintenance of all plantings following acceptance from Contractor. The required landscaping must be maintained in a healthy, growing condition at all times.
- Plant material shown here is represented at its mature size. Plantings to be installed will be significantly smaller than those shown and should not be expected to reach maturity for several years dependant on growing conditions.
- Contractor is to seed all disturbed areas left unpaved and guarantee coverage of vegetation until establishment of grass. Grass type shall be Bermuda grass or Rye/Bermuda mixture.
- All water meters, hydrants, valves, manholes, and cleanouts, on or adjacent to the property, must remain accessible during construction and upon the completion of necessary grading and landscaping.
- "Cal." indicates caliper at 12" above the ground. Multi-trunk trees' caliper is measured with the single, largest cane.
- Existing Trees used for landscape credit must have a minimum trunk diameter of four and one-half inches or larger and be in a healthy physical state. Should existing trees used for landscape credit die, they shall be replaced with new trees according to the requirements of section 62-429(a)(3)c. Existing trees with a trunk diameter less than four and one-half inches may be given the same landscape credit as that given newly planted trees with similar characteristics.
- Replacement of dead landscaping shall occur within 90 days of notification. Replacement material must be of similar character as the dead landscaping. Failure to replace dead landscaping as required by the zoning official or his/her designee, shall constitute a violation of this article subject to the general penalty provisions of City Code section 1-14.
- To ensure the growth of trees in end islands, a minimum 24-inch soil depth and 250 cubic feet of appropriate planting medium is required per tree, with topsoil mounded to a center height.
- All landscaping is to be maintained by irrigation. The irrigation system will be designed and permitted separately.

Landscape Analysis:

Construction Activities:

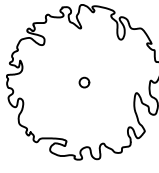
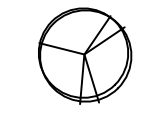
Parking & Pavement	=	65,300 SF
Building	=	8,580 SF
Net Total	=	73,880 SF

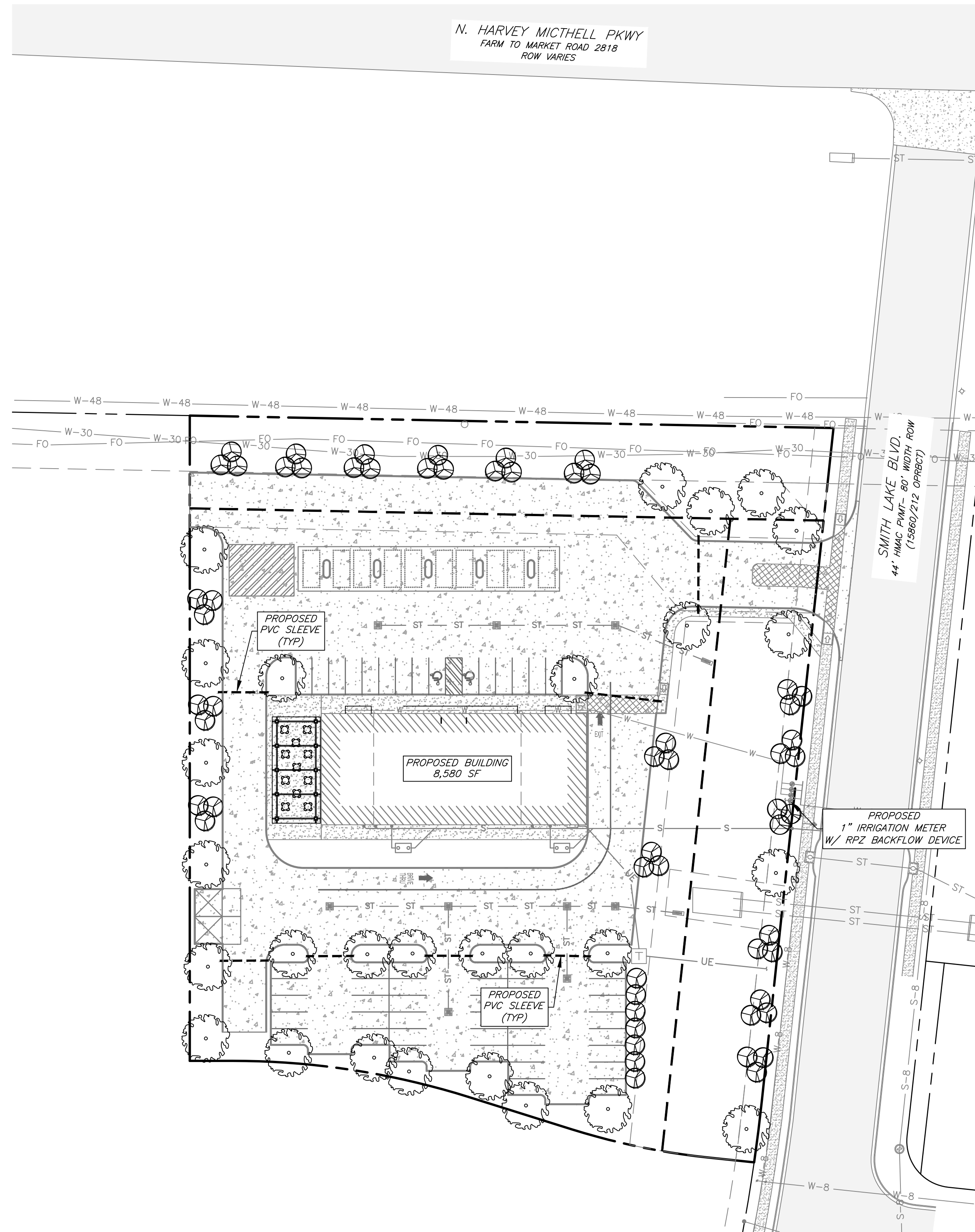
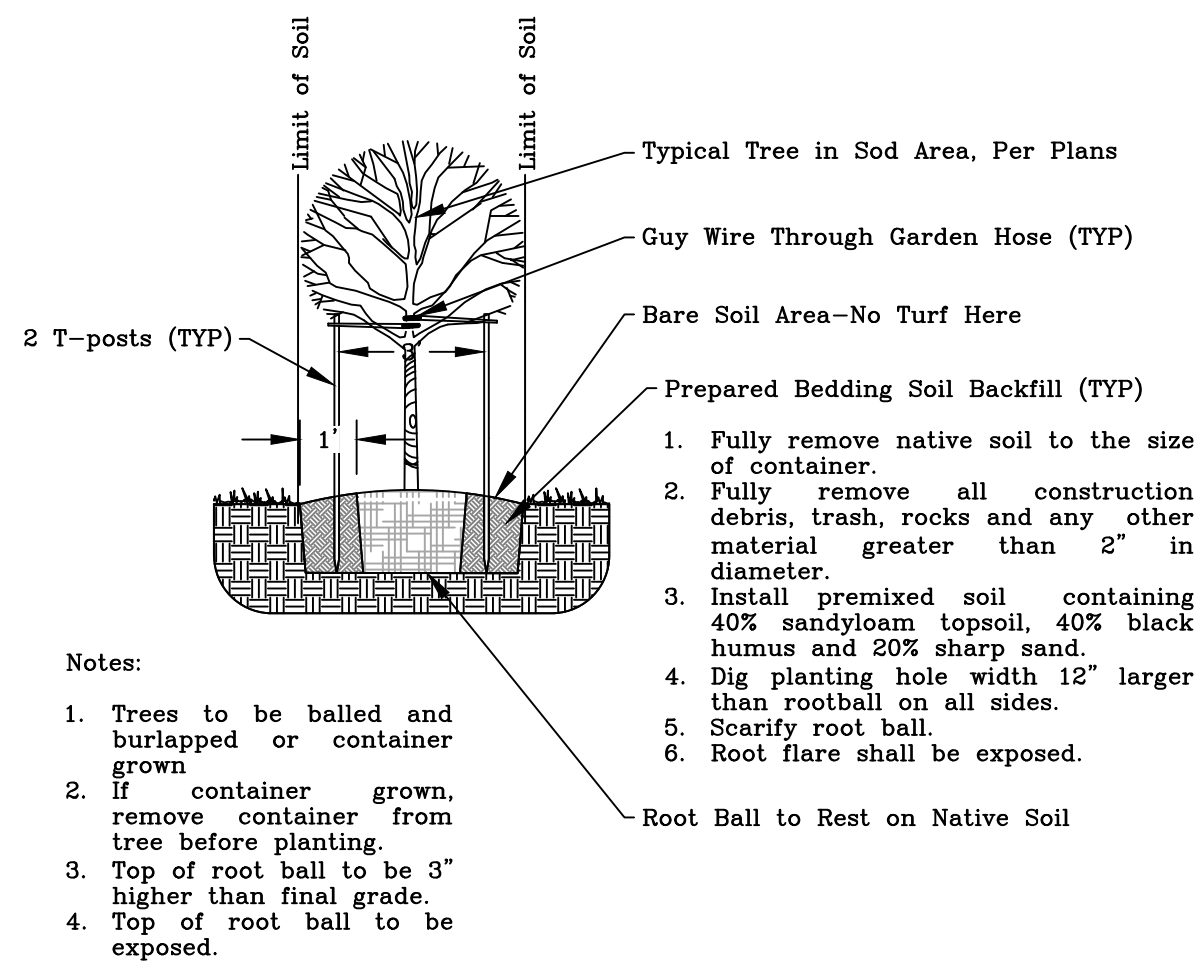
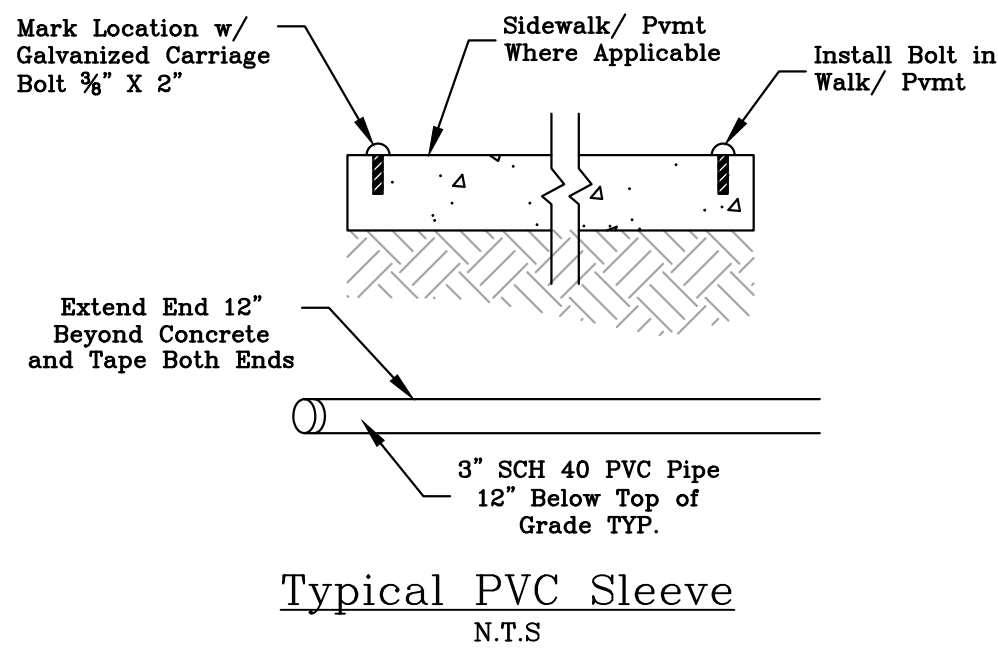
Requirements:

Building, Parking, & Pavement	=	11,085 SF
73,880 SF @ 15%	=	11,085 SF
Net Total	=	11,085 SF

Provided:

Canopy Trees	=	5,600 SF
28 @ 200 SF	=	5,600 SF
Non-Canopy Trees	=	5,800 SF
58 @ 100 SF	=	5,800 SF
Net Total	=	11,400 SF

Symbol	Qty.	Common Name	Botanical Name	Size
	30	Cedar Elm	Ulmus crassifolia	1½" cal. to 3" cal.
	59	Crepe Myrtle	Lagerstroemia indica	1½" cal.



Landscape Plan

General Notes:

- An irrigation system to service all new plantings will be installed by a certified installer prior to a certificate of occupancy being issued.
- Irrigation system must be protected by either a pressure vacuum breaker, reduced pressure principle back flow device, or a double-check back flow device and installed as per city ordinance 2394.
- All backflow devices must be installed and tested upon installation as per city ordinance 2394.
- 100% coverage of groundcover, decorative paving, decorative rock(not loose) or a perennial grass is required in parking lot islands, swales and drainage areas, the parking lot setback, rights-of-way, and adjacent property disturbed during construction.
- It is the intent of these plans to comply with all City of Bryan guidelines, specifications, & details.
- See Sheet C1-General Notes.

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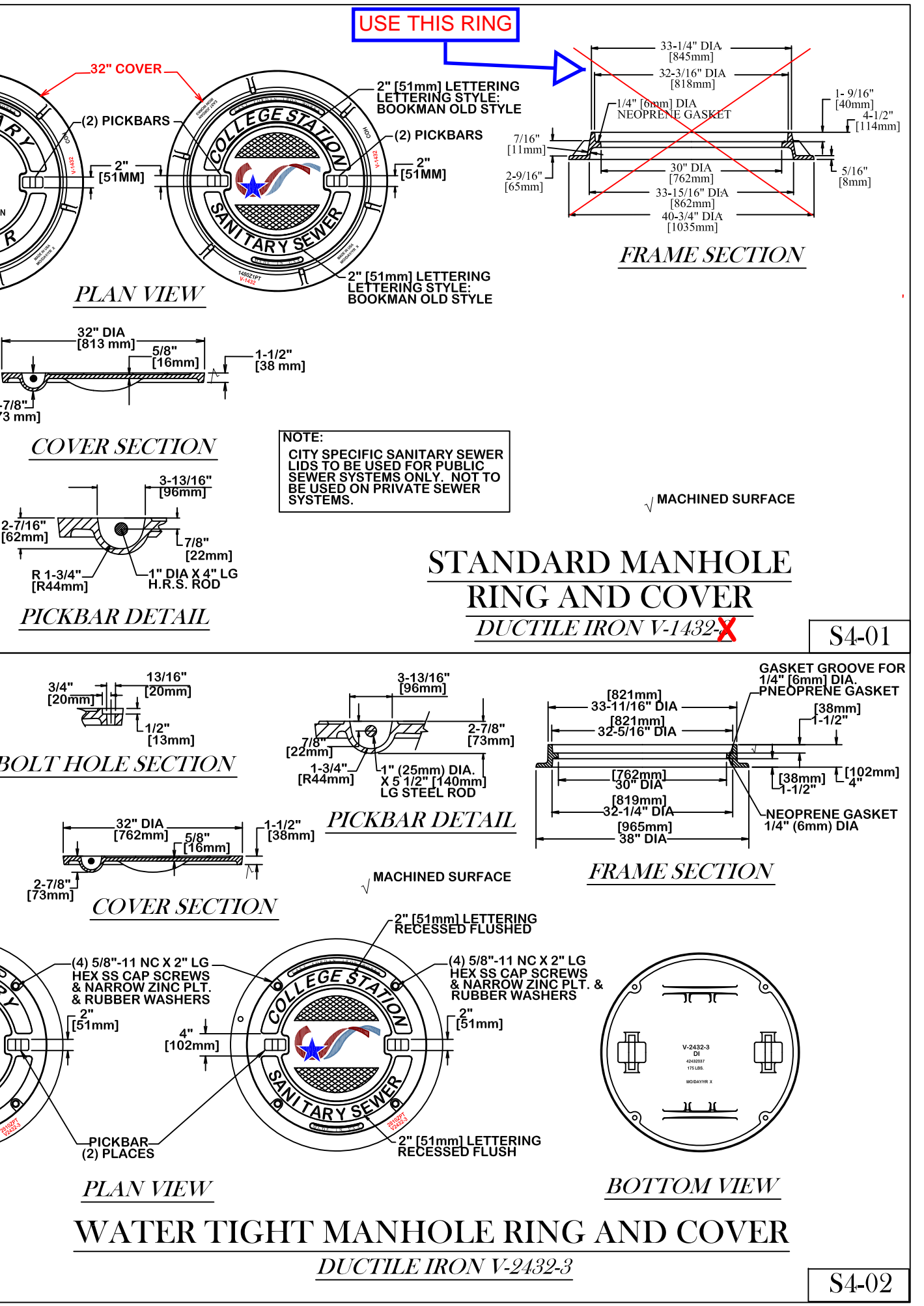
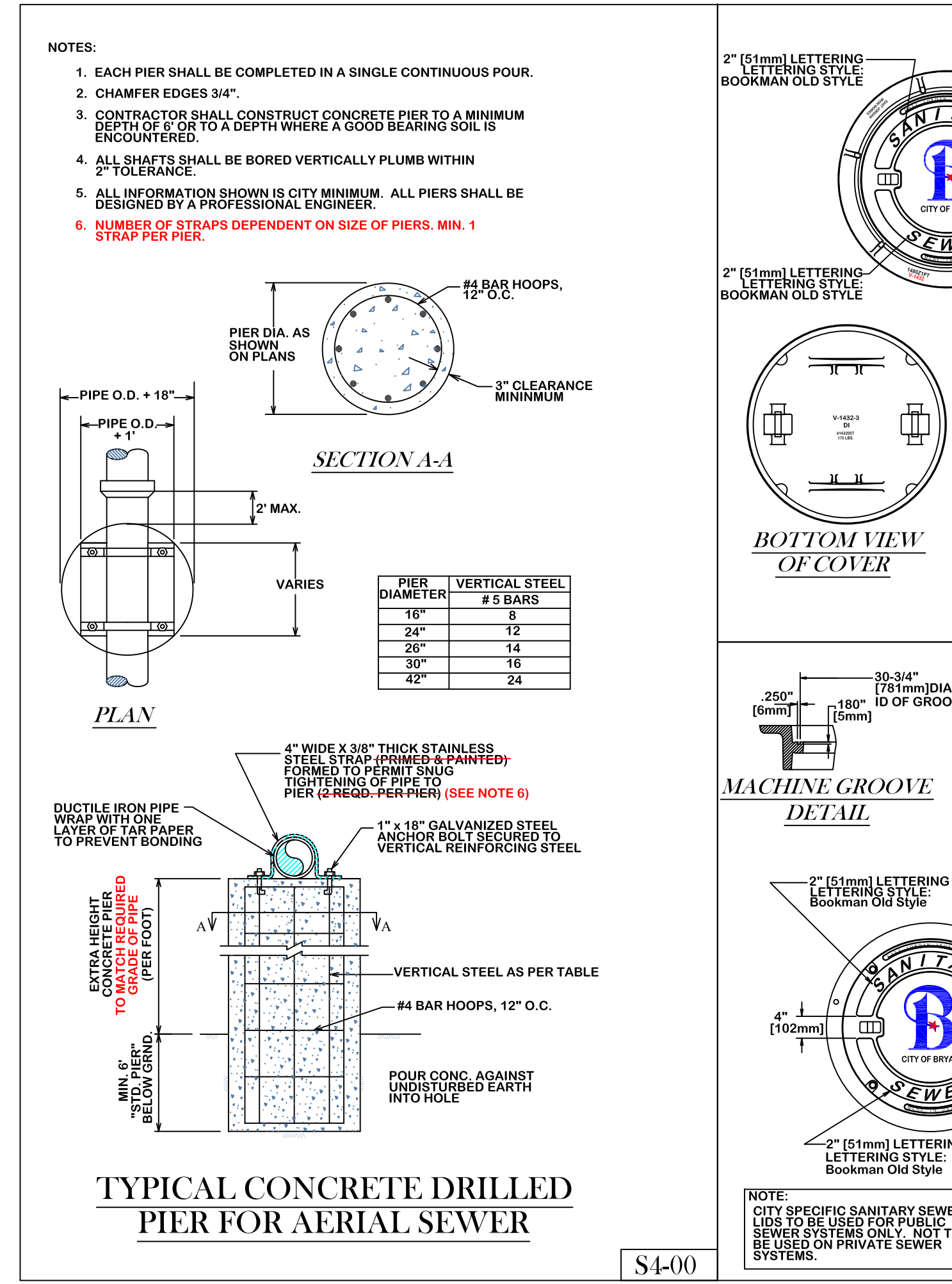
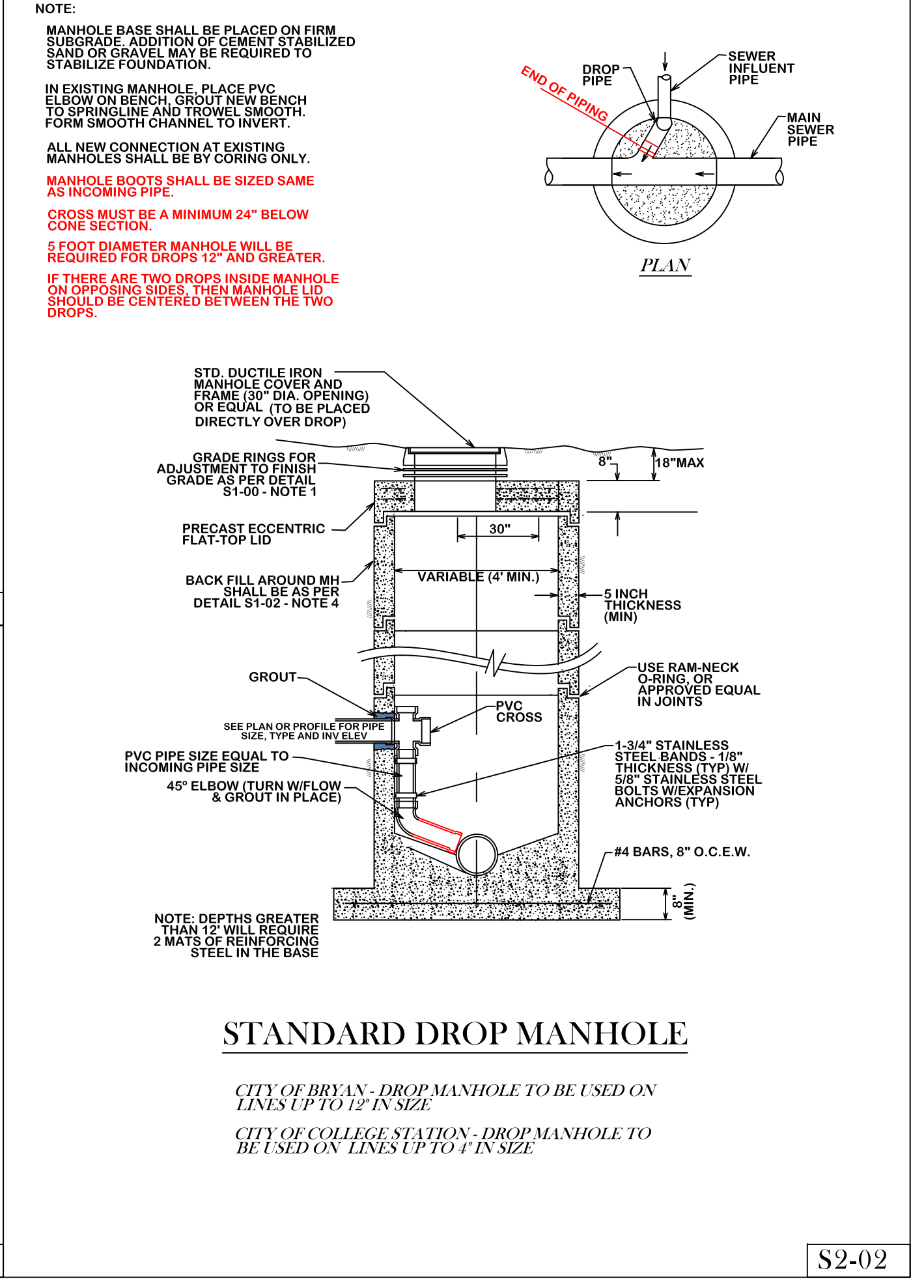
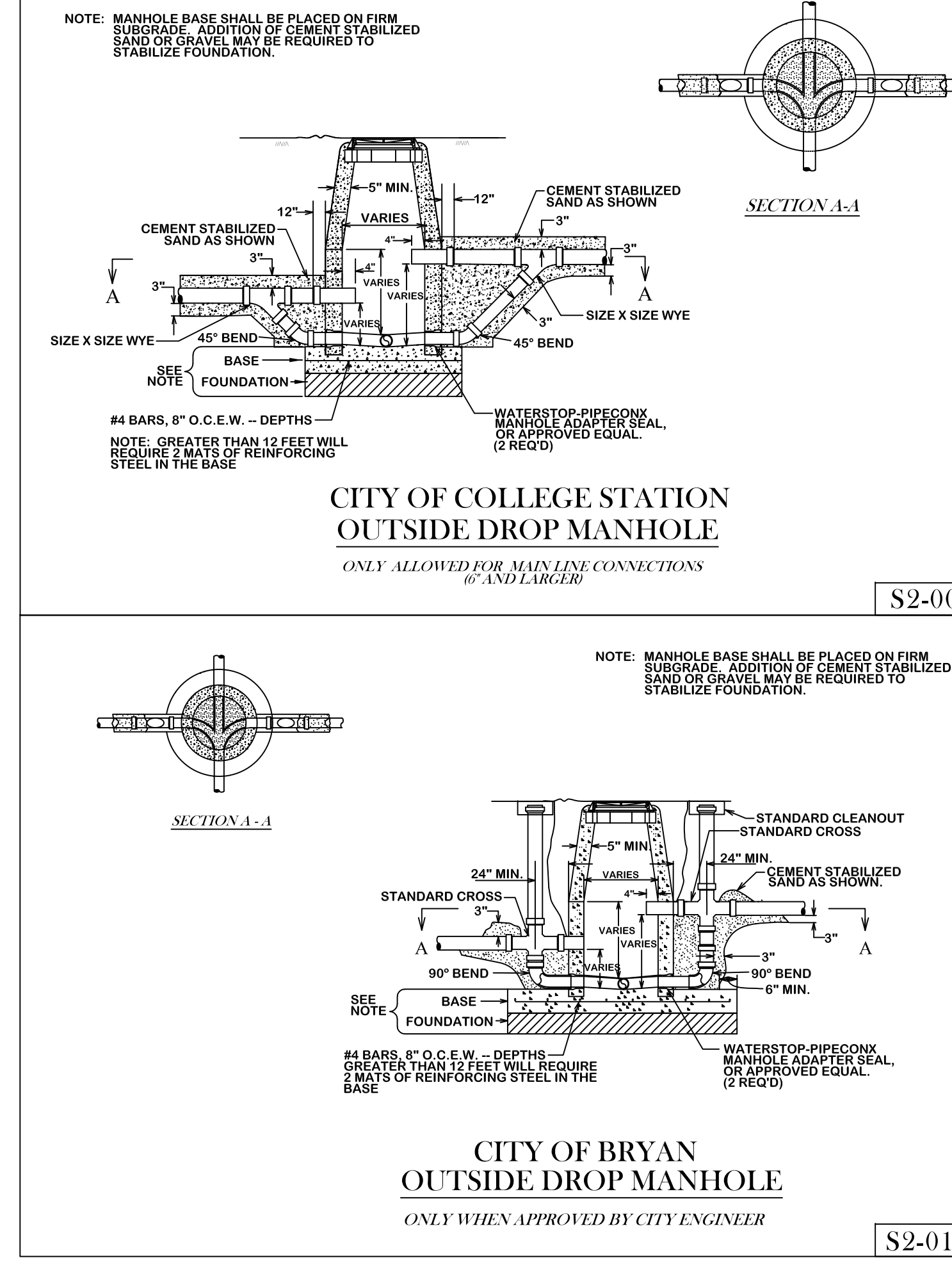
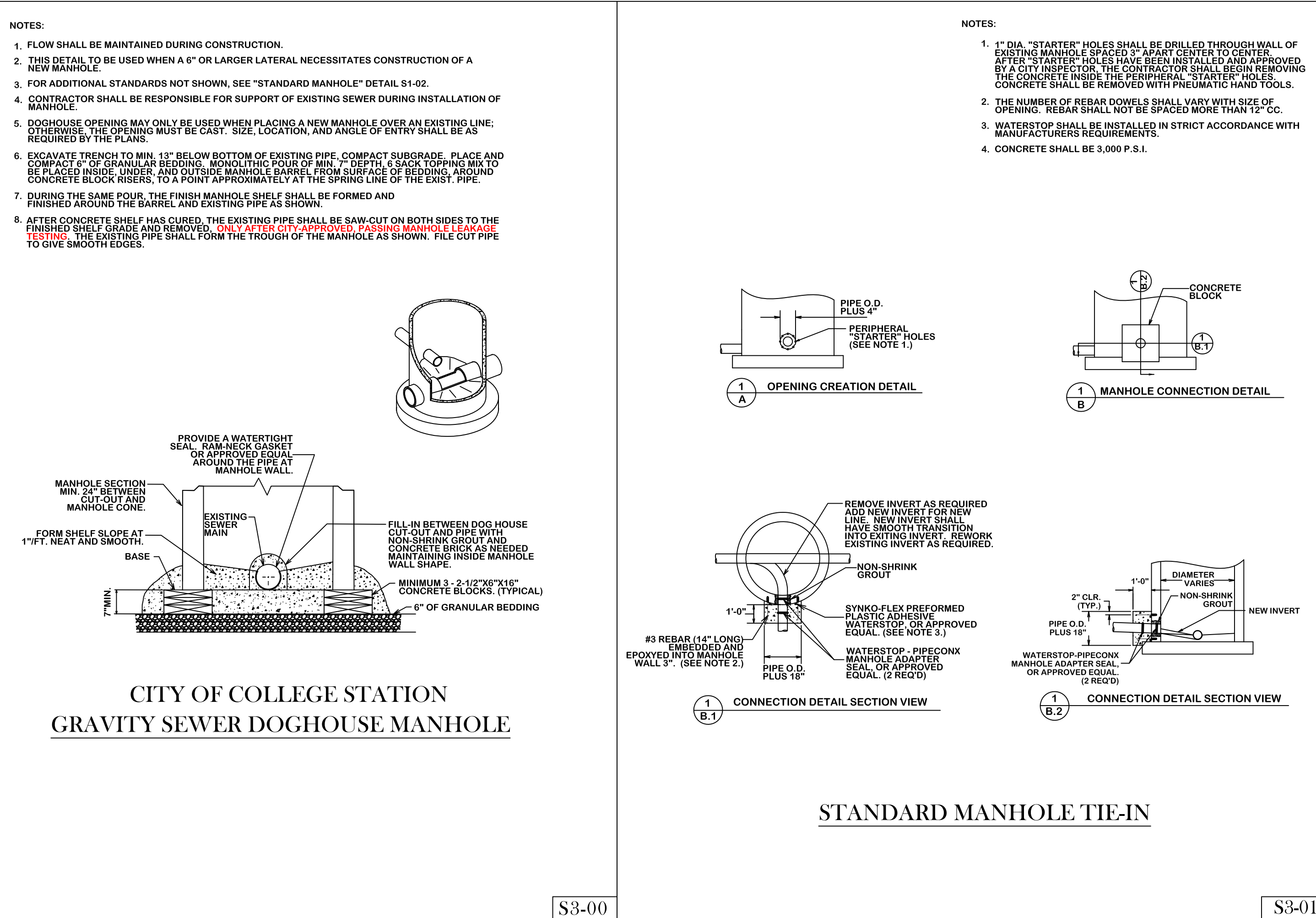
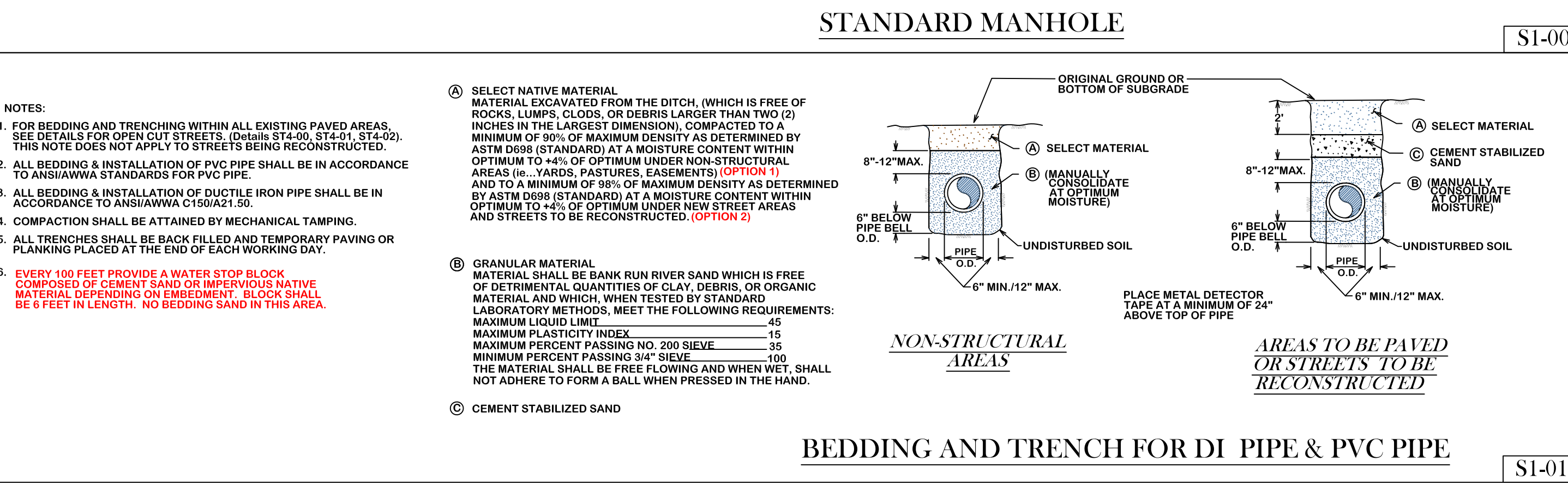
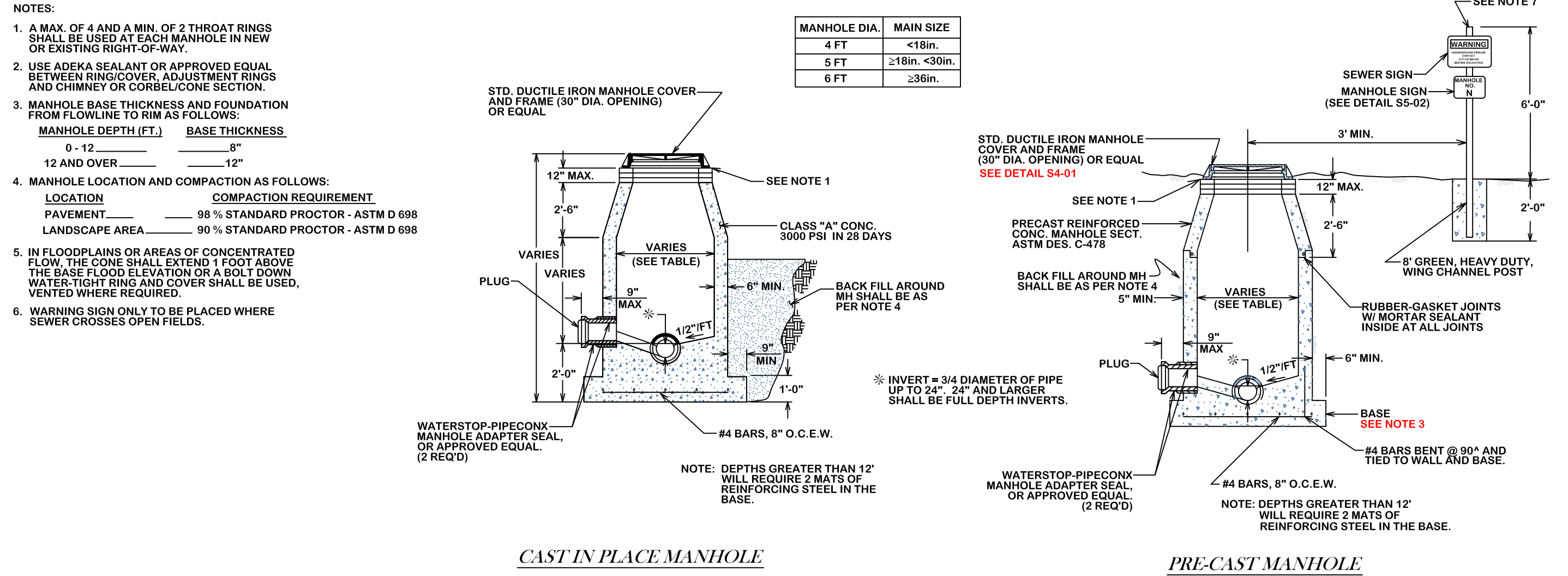
PO Box 5192 - Bryan, Texas - 77805
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Firm# 9951

Project Name and Address:

Greens Crossing C-Store

Green's Crossing
Block 1, Lot 1 - 2.771 Acres
Bryan, Brazos County, Texas

Date:	Feb 2024	Sheet:	L1
Scale:	As Noted		



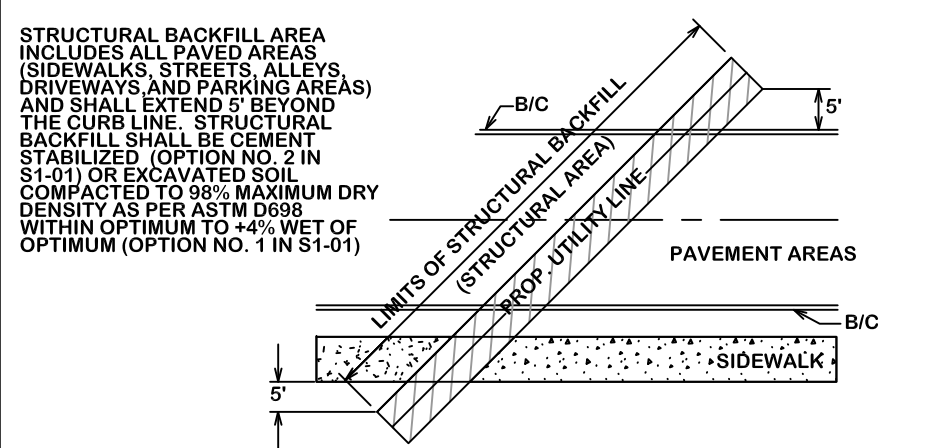
GENERAL NOTES:

ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODDING OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARE AREAS SHALL BE SEEDED OR SODED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

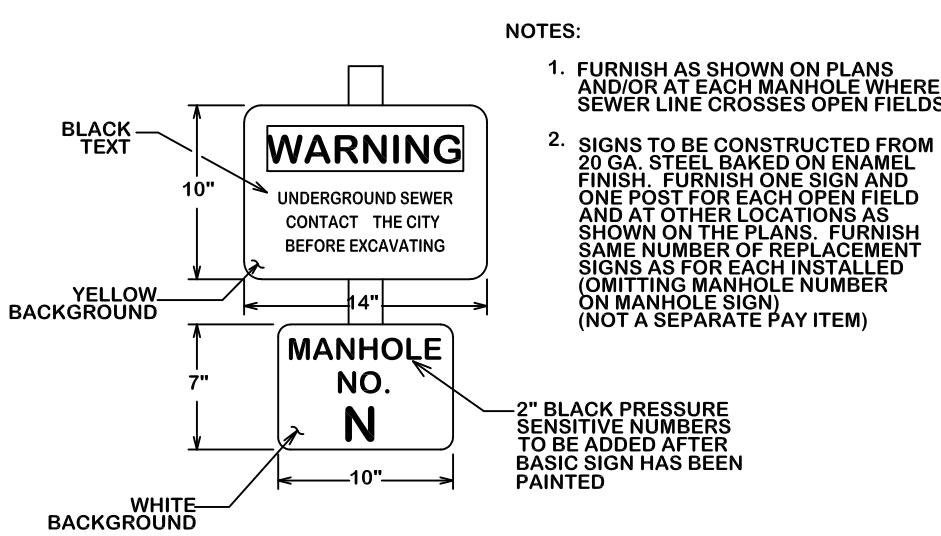
APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.

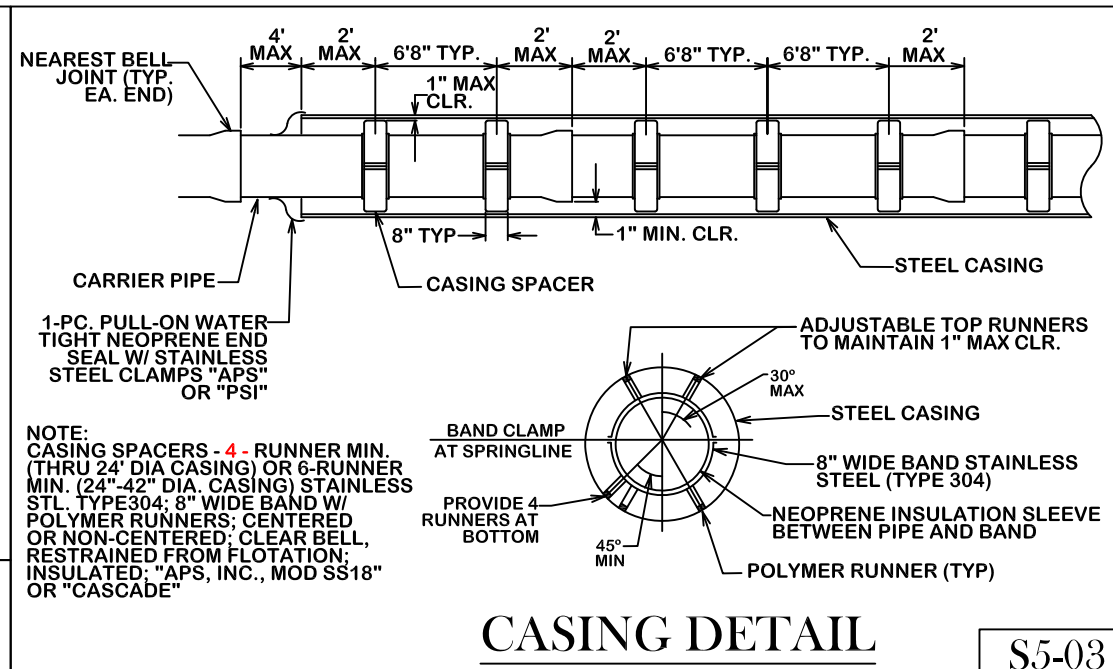
ESTABLISHMENT OF VEGETATION MAY BE A WARRANTY ITEM.



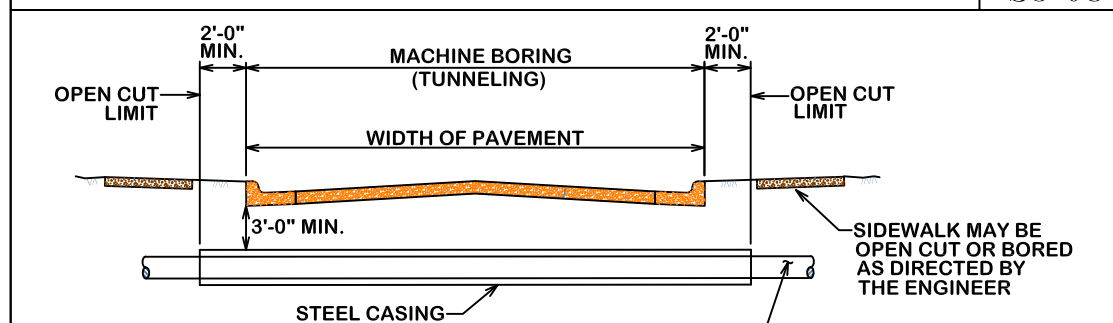
STRUCTURAL BACKFILL AREA
S5-00



SEWER WARNING AND MANHOLE IDENTIFICATION SIGN
S5-02

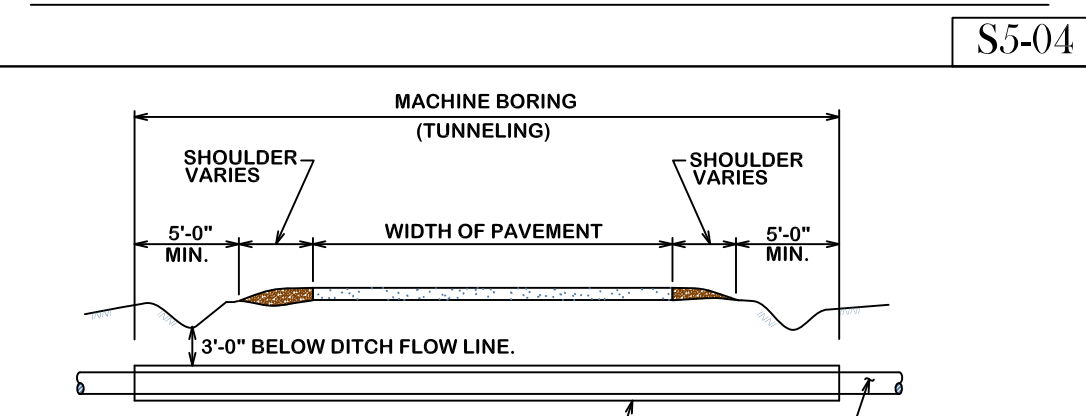


CASING DETAIL
S5-03



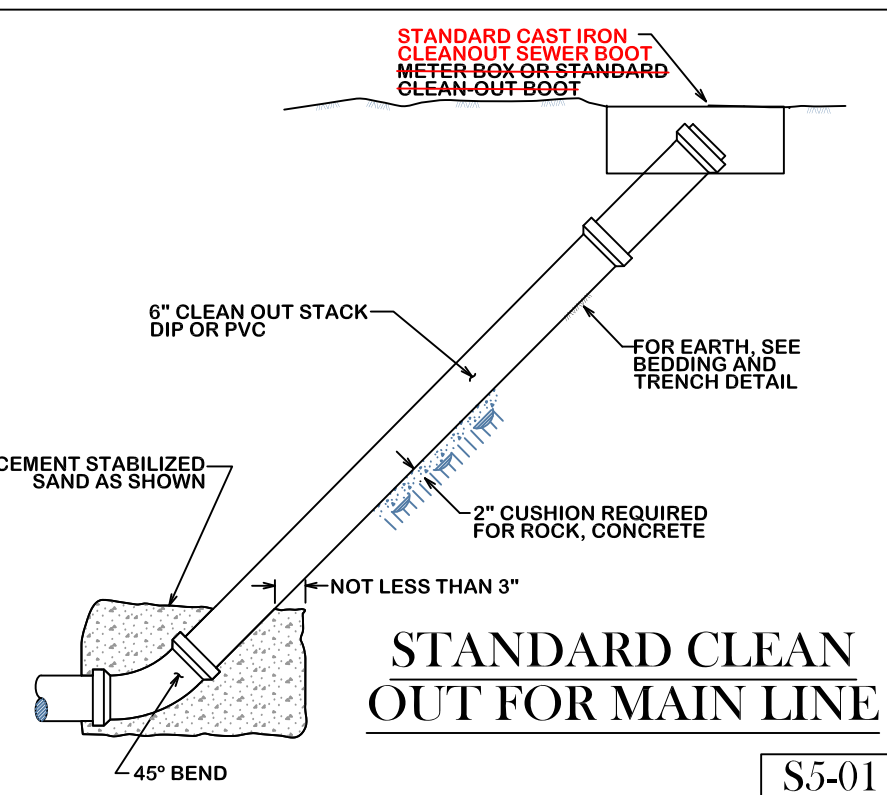
NOTE:
1. FOR MORE INFORMATION ON WATER AND SEWER LINE CROSSING SEE CITY STANDARD SPECIFICATION FOR WATER AND SEWER LINE CONSTRUCTION.
2. STEEL CASING SHALL BE AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS.
3. DRY BORING PREFERRED, WET BORING ALLOWED ONLY WHEN APPROVED BY THE CITY ENGINEER.

TYPICAL URBAN CITY STREET CROSSING

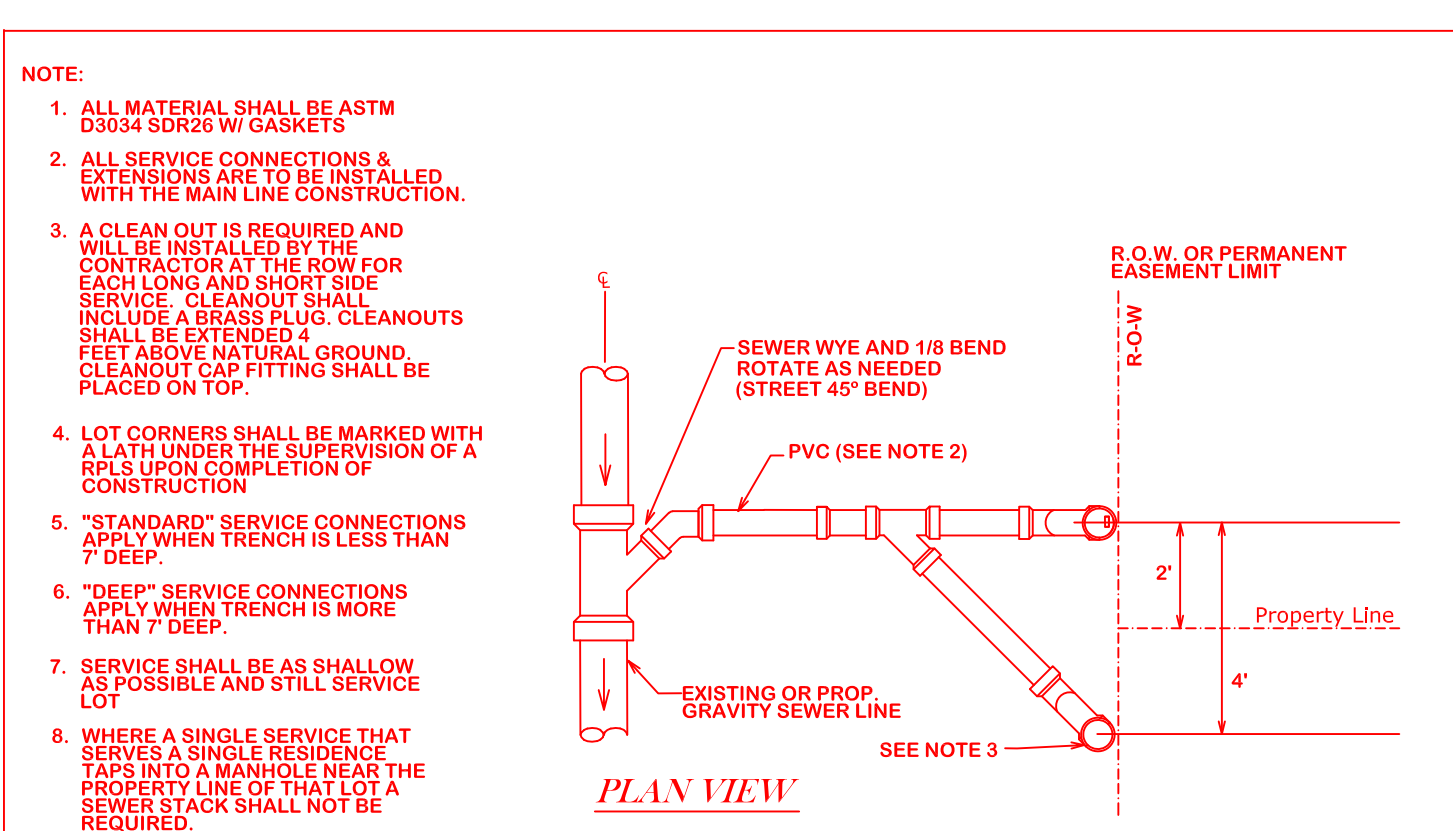


NOTE:
1. FOR MORE INFORMATION ON WATER AND SEWER LINE CROSSING SEE CITY STANDARD SPECIFICATION FOR WATER AND SEWER LINE CONSTRUCTION.
2. STEEL CASING SHALL BE AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS.
3. DRY BORING IS REQUIRED.

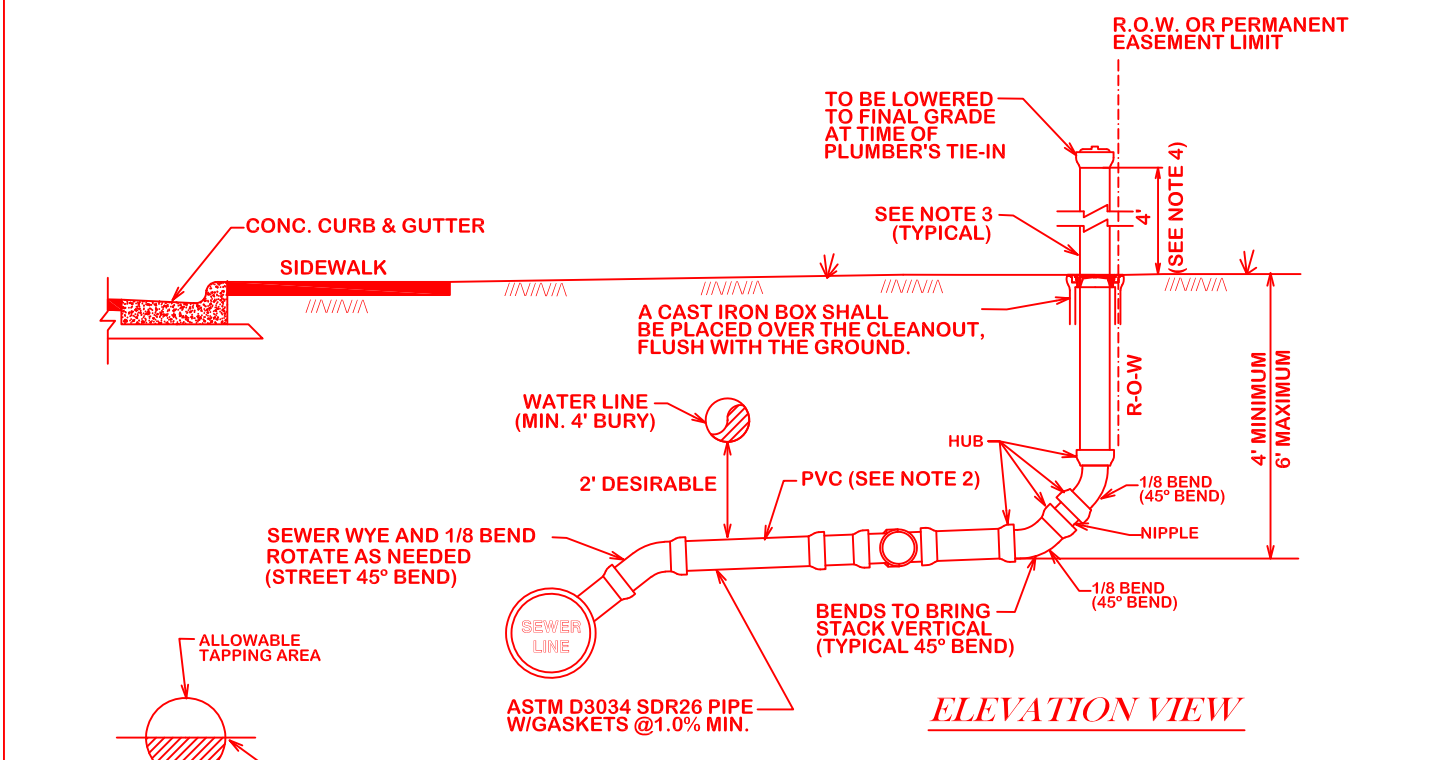
TYPICAL RURAL STREET CROSSING
S5-04



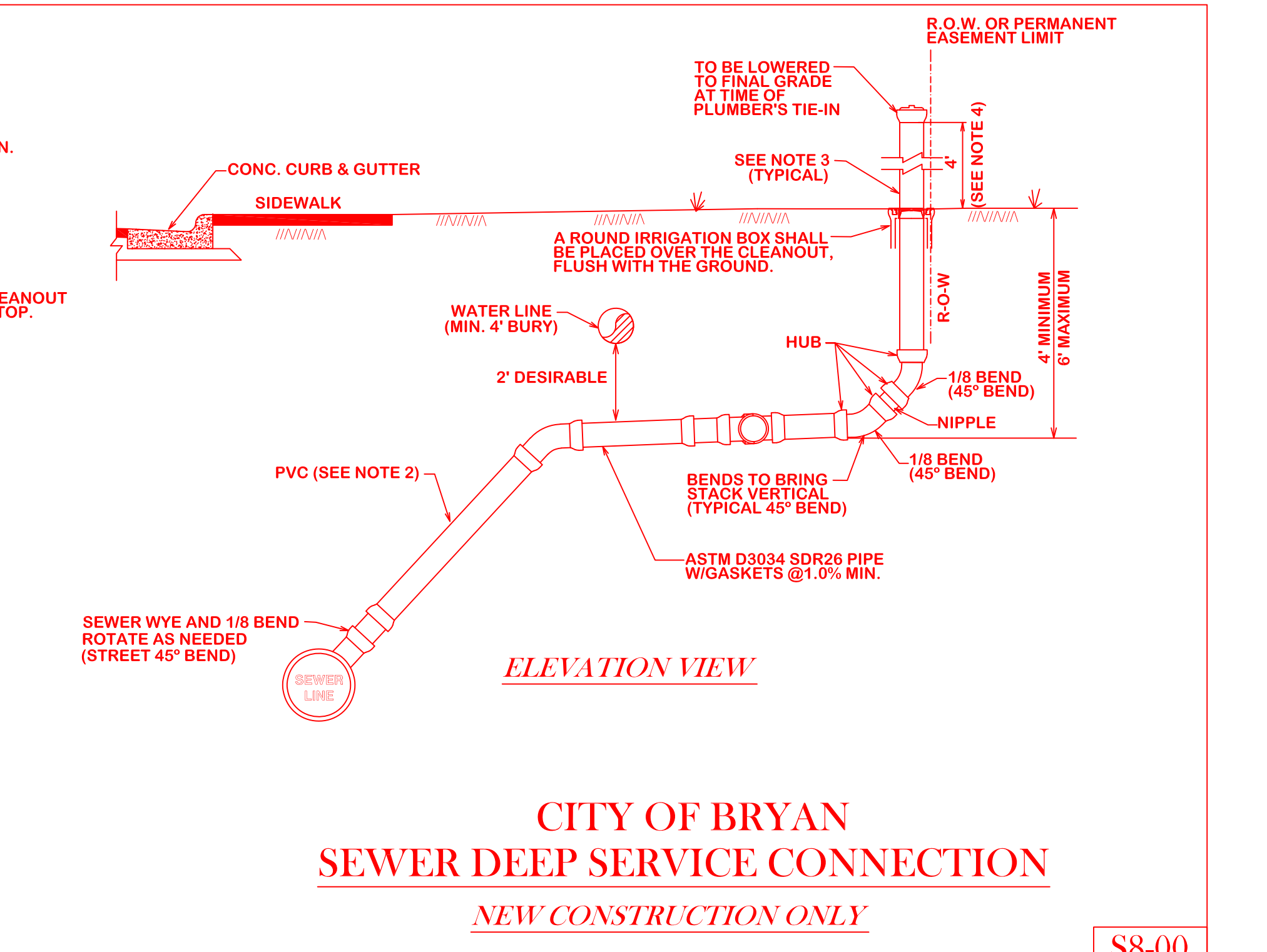
STANDARD CLEAN OUT FOR MAIN LINE
S5-01



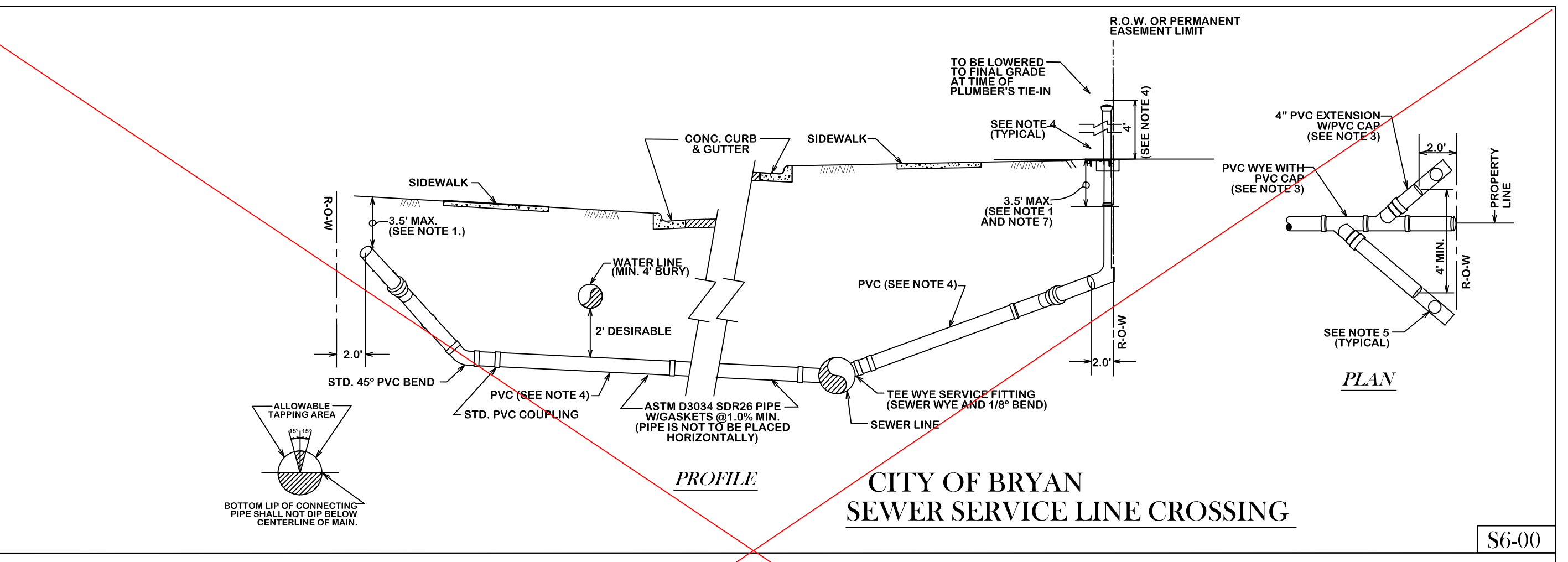
CITY OF BRYAN STANDARD SEWER SERVICE CONNECTION
NEW CONSTRUCTION ONLY
S6-00



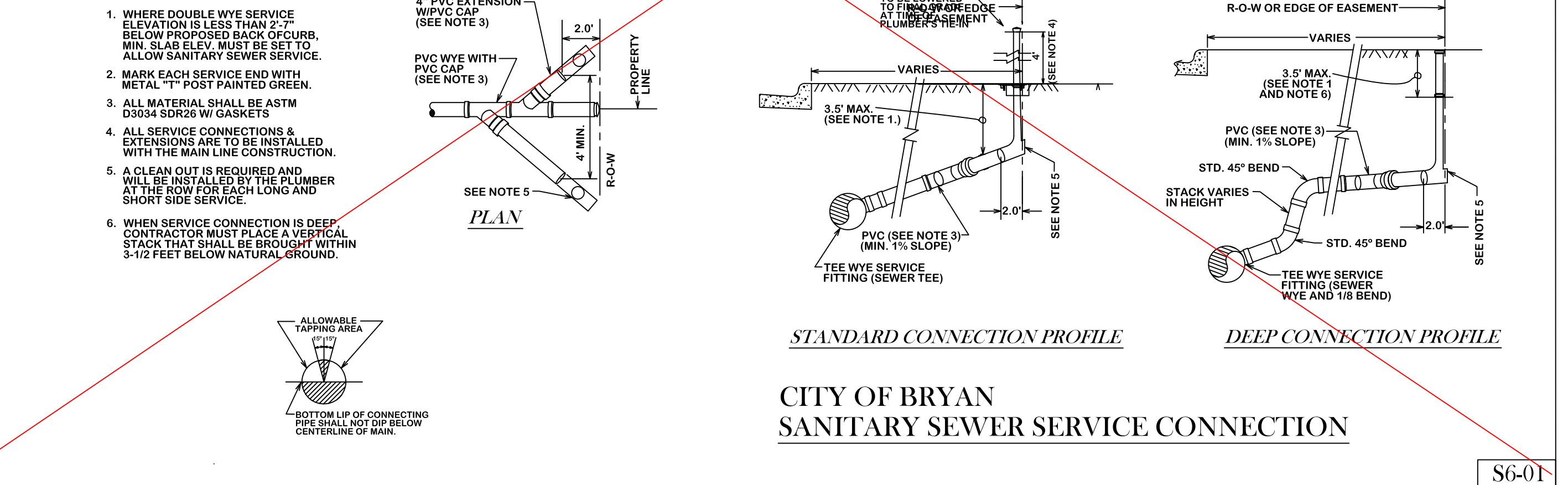
CITY OF BRYAN STANDARD SEWER SERVICE RE-CONNECTION
PLUMBER CONNECTION OR CIP RECONSTRUCTION
S6-01



CITY OF BRYAN SEWER DEEP SERVICE CONNECTION
NEW CONSTRUCTION ONLY
S8-00



CITY OF BRYAN SEWER SERVICE LINE CROSSING
S6-00

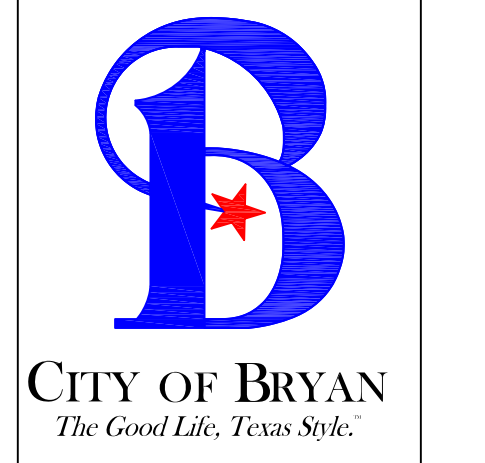
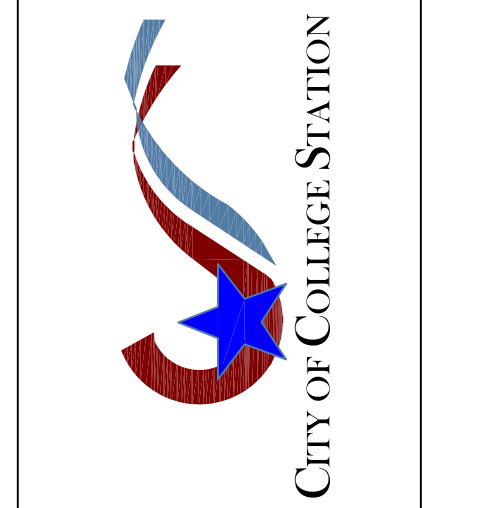


CITY OF BRYAN SANITARY SEWER SERVICE CONNECTION
S6-01

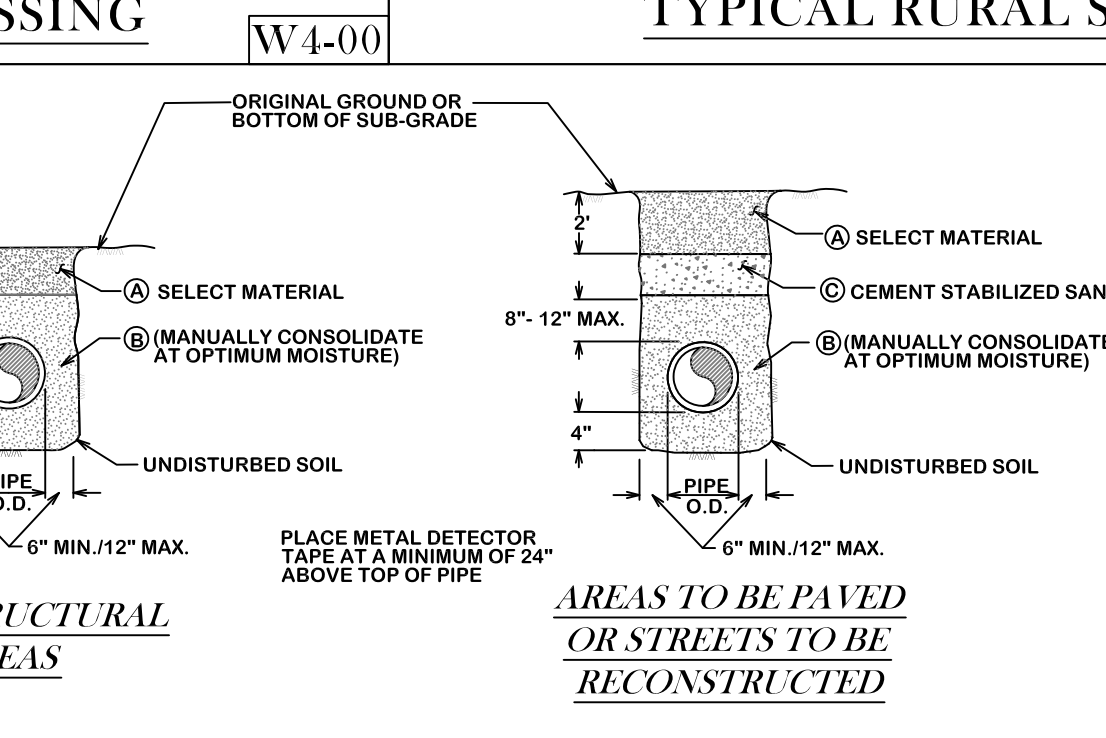
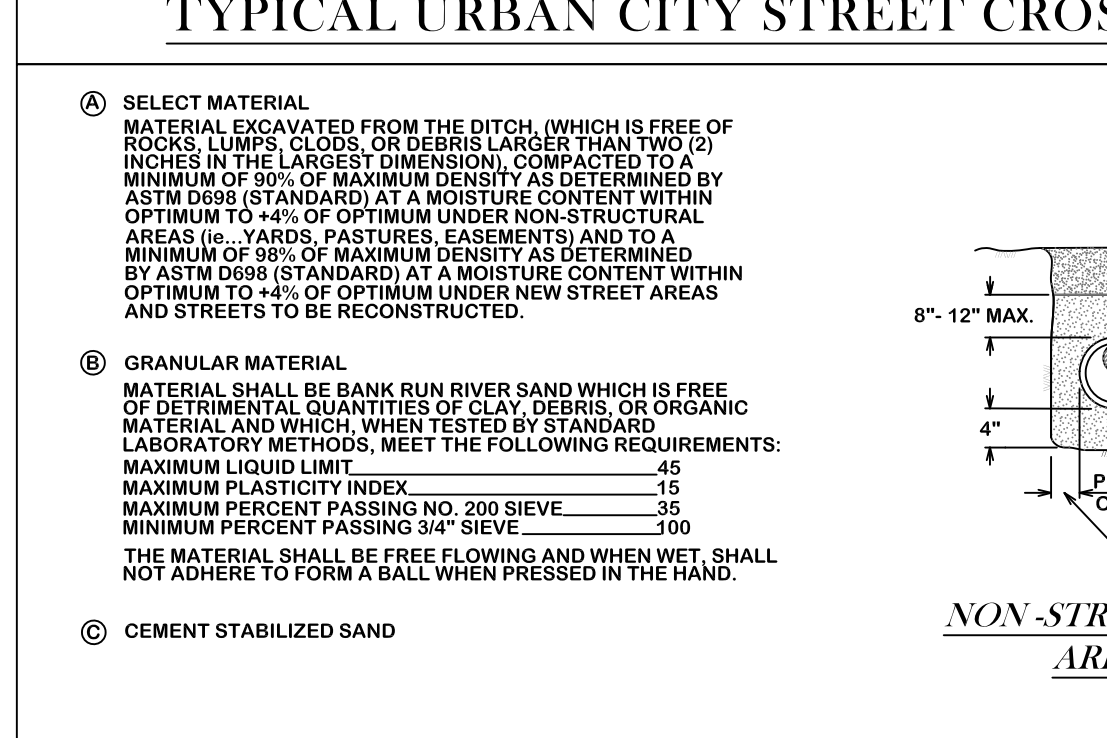
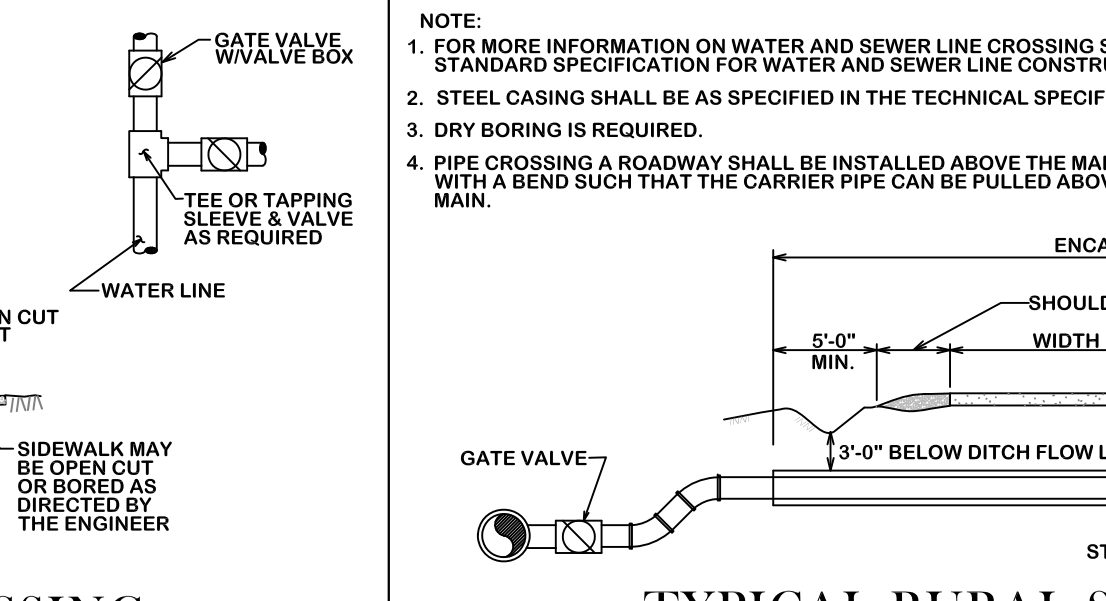
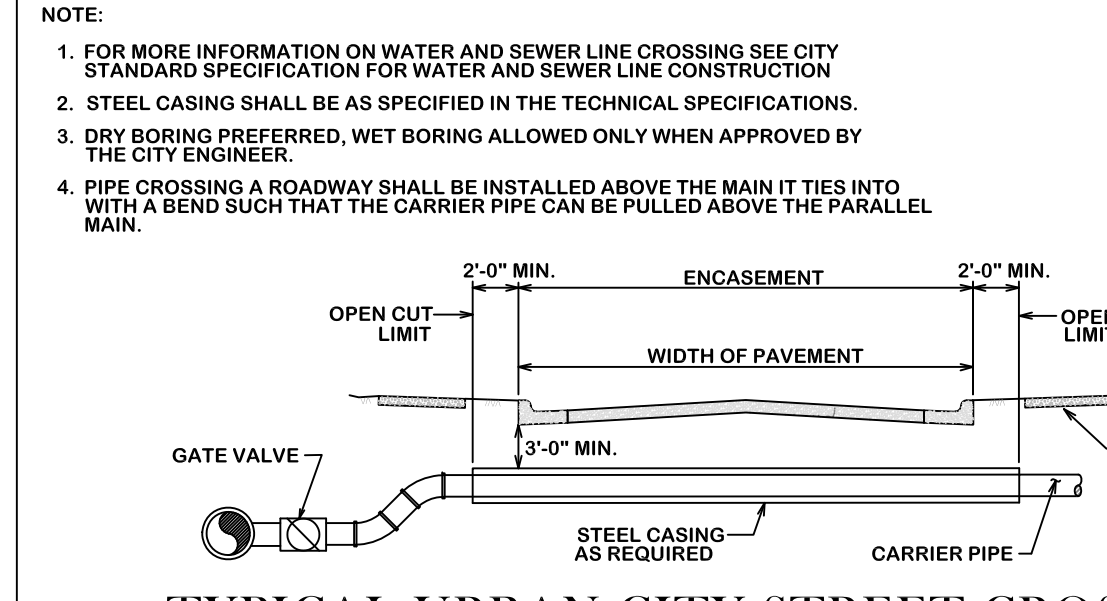
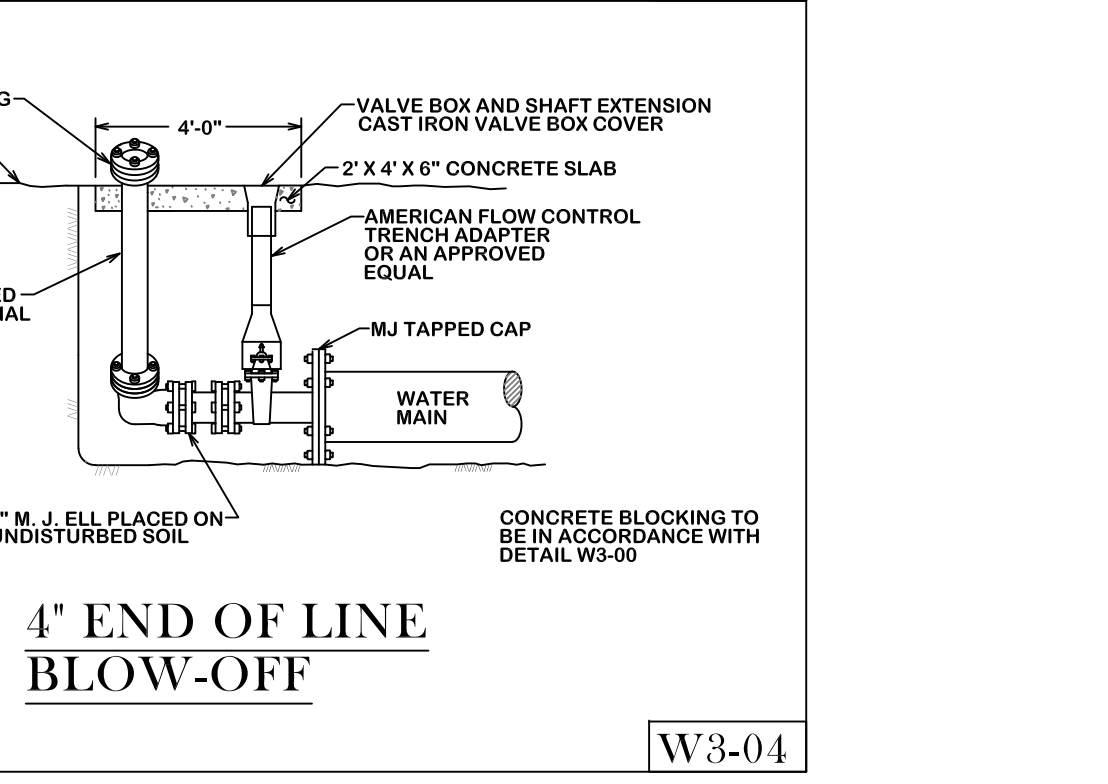
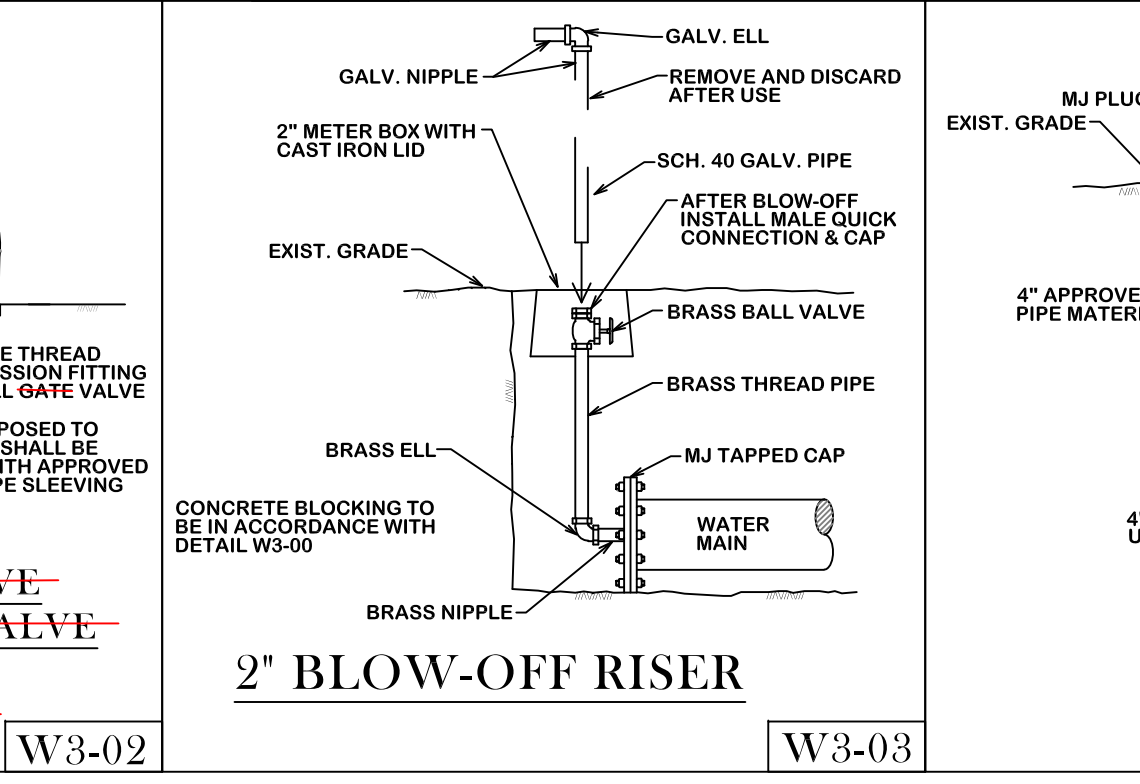
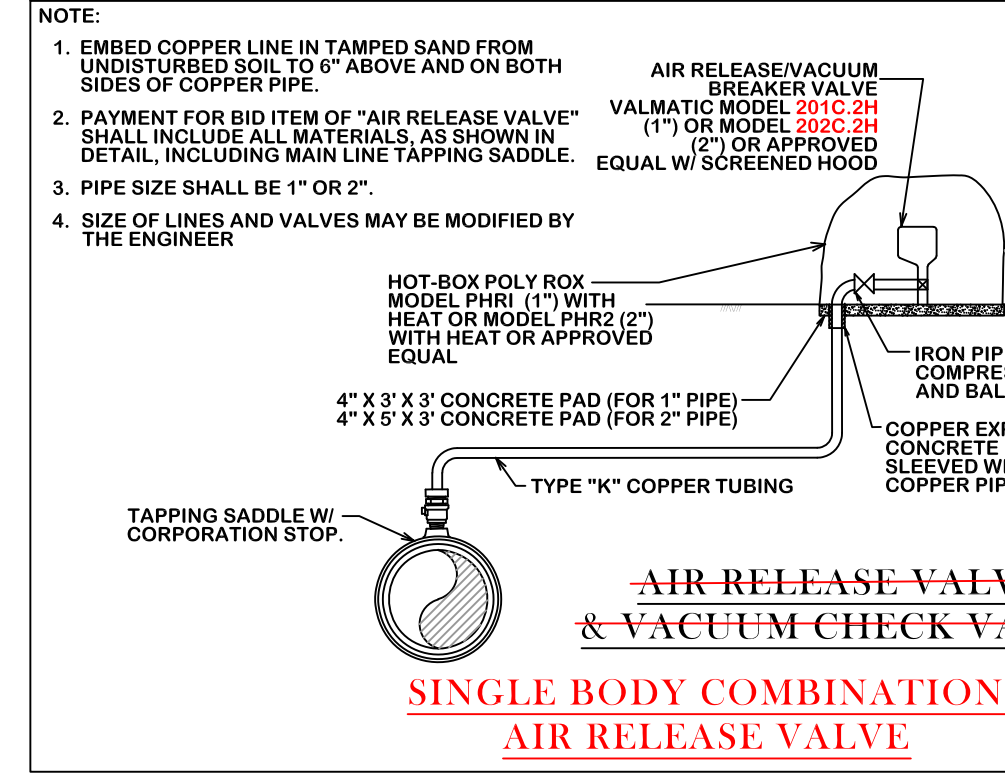
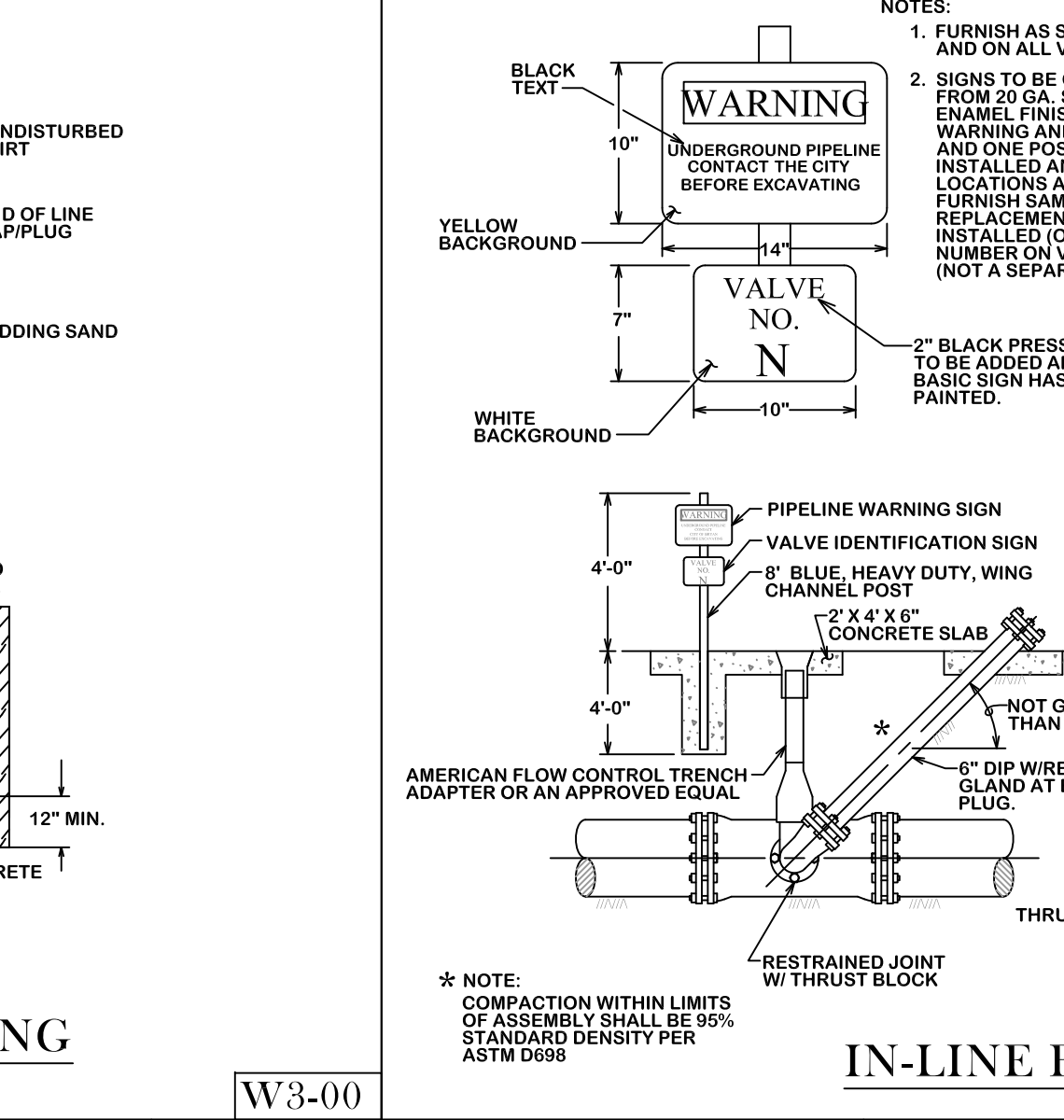
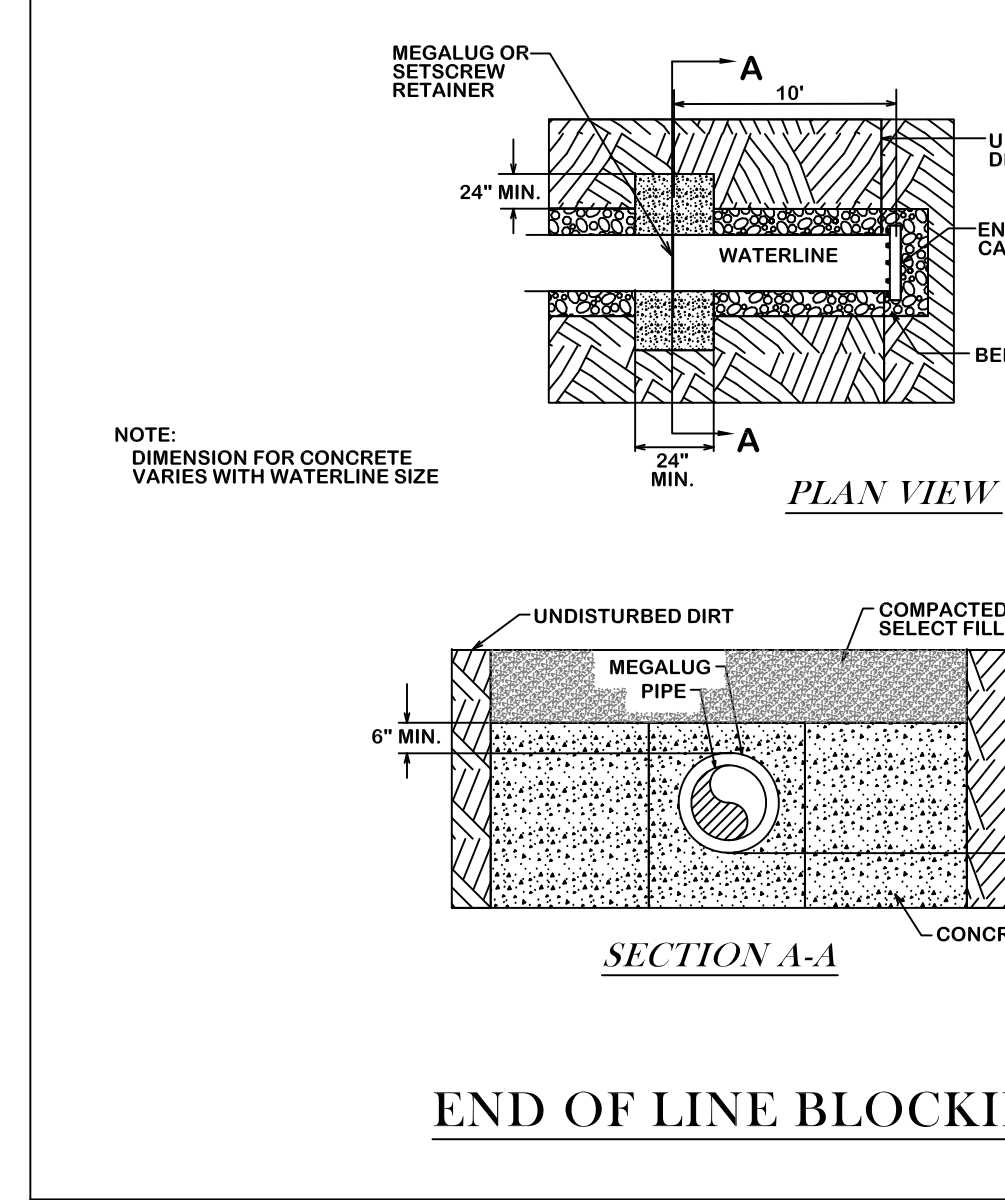
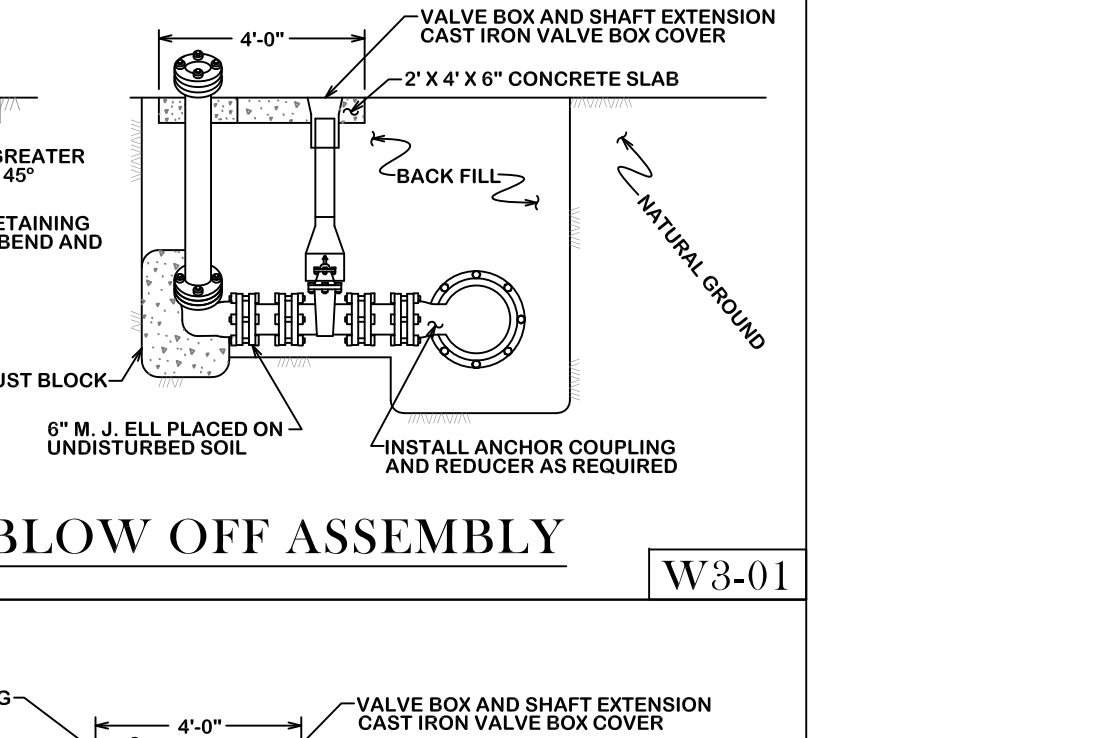
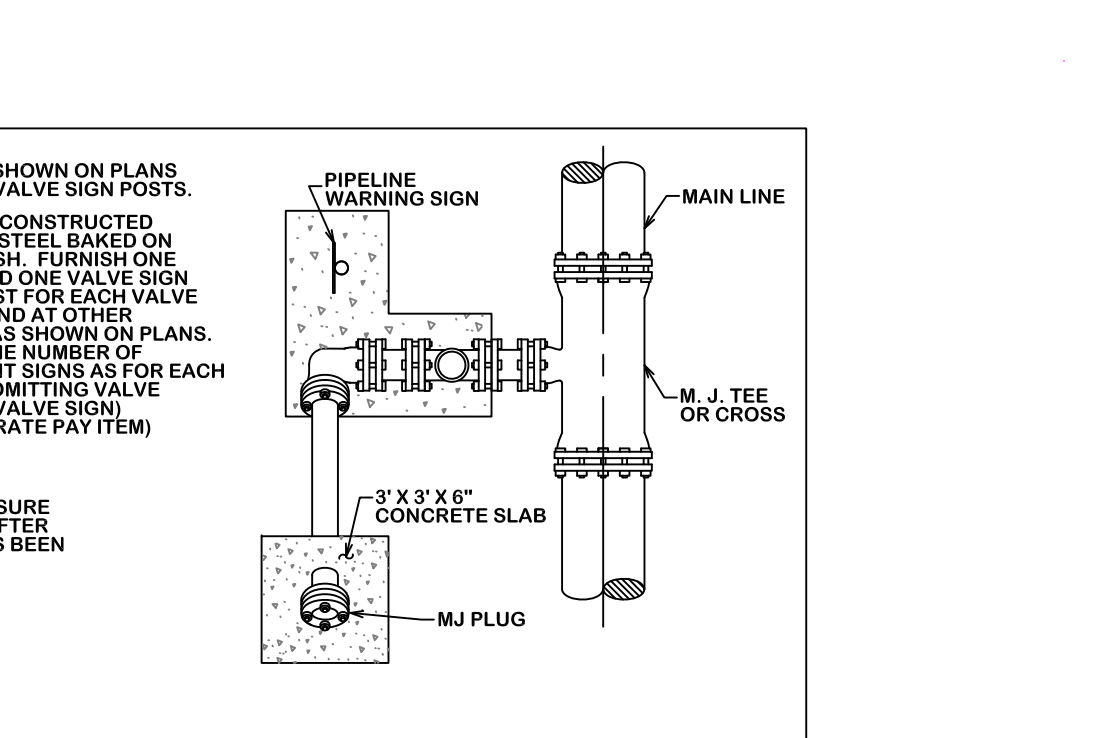
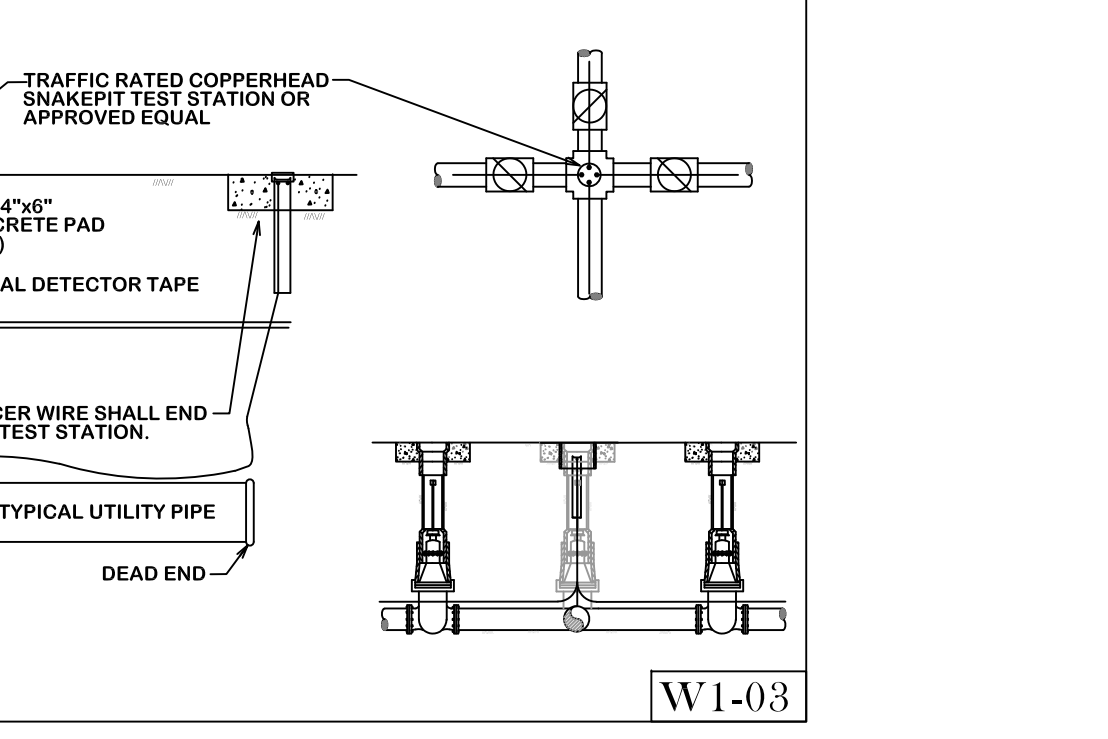
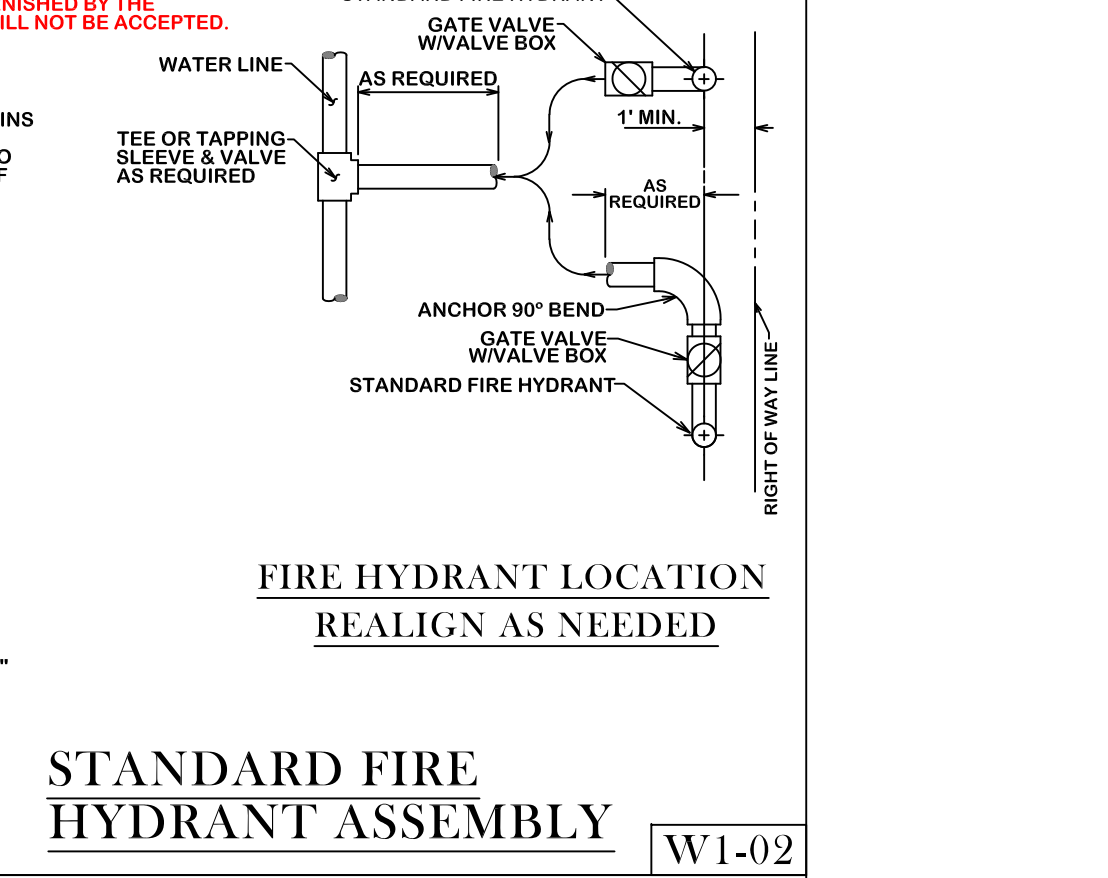
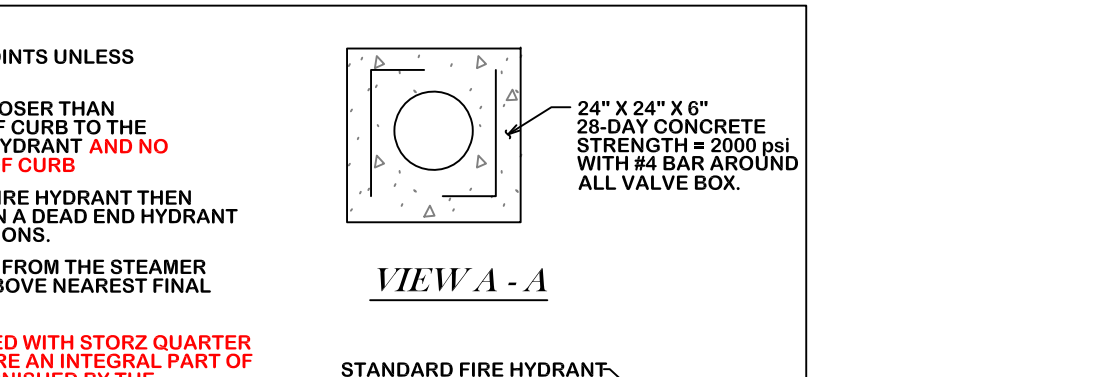
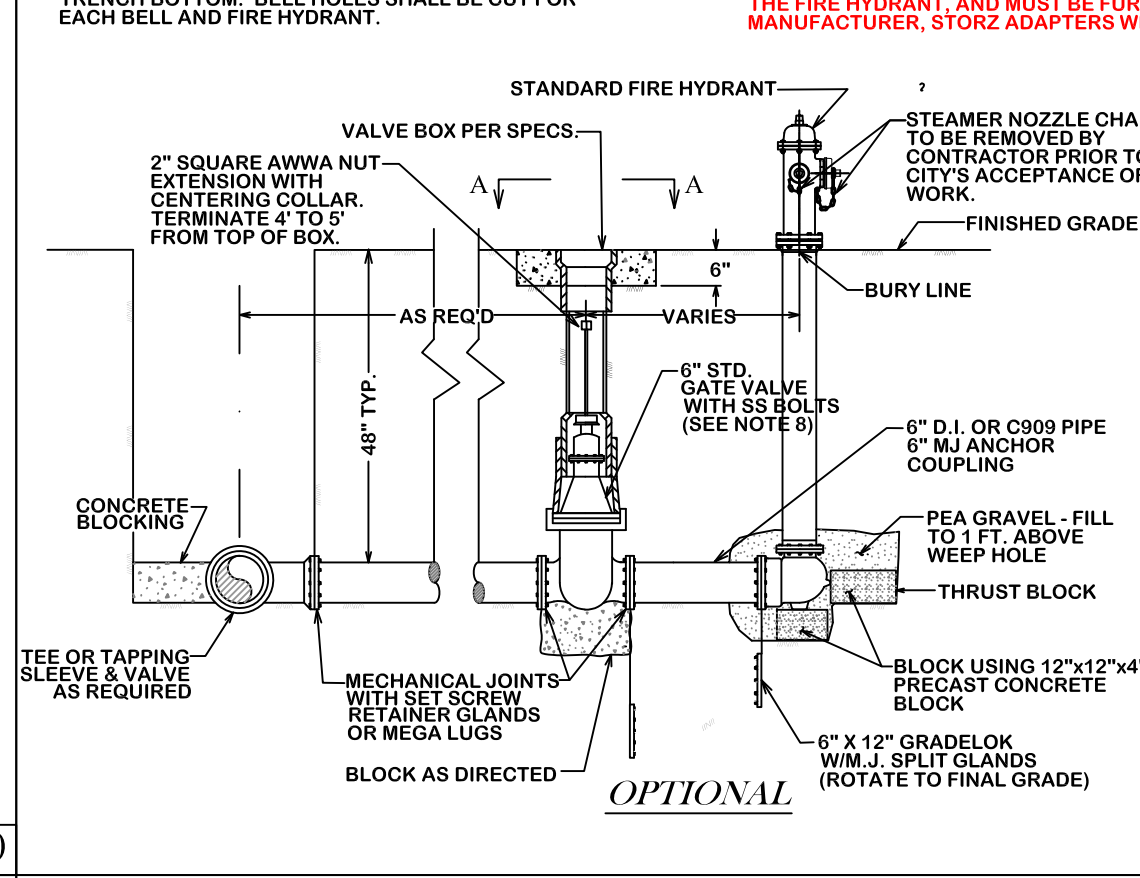
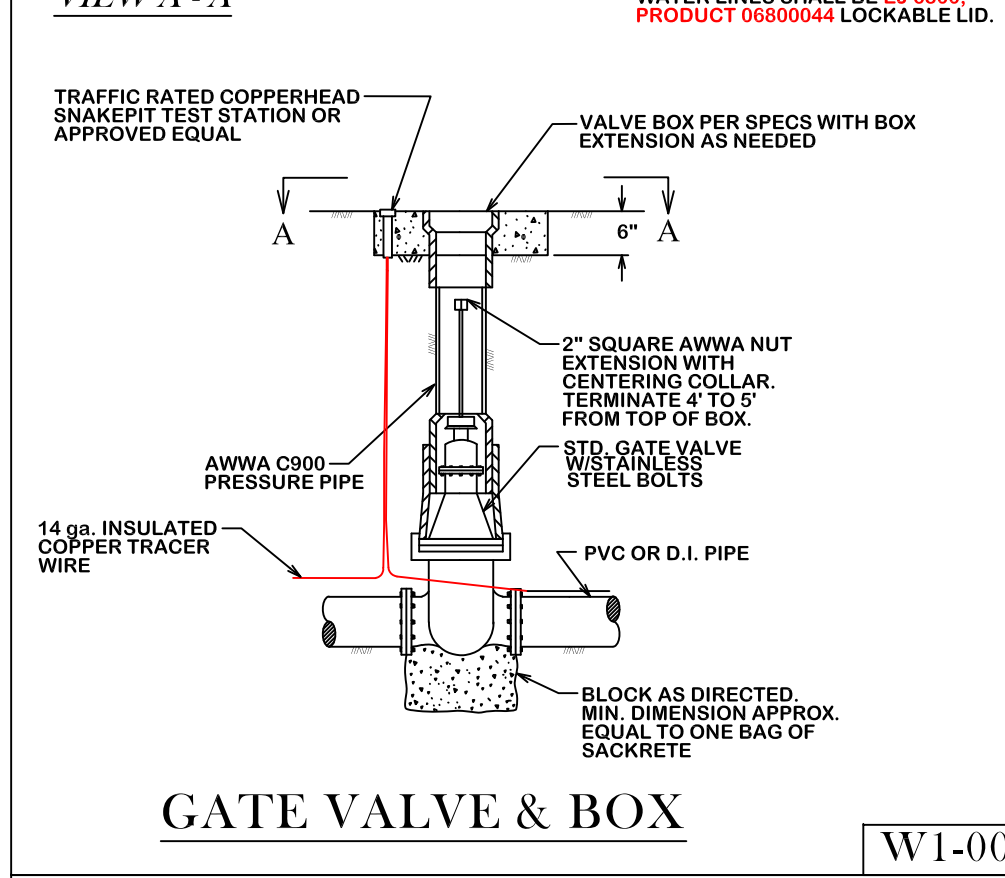
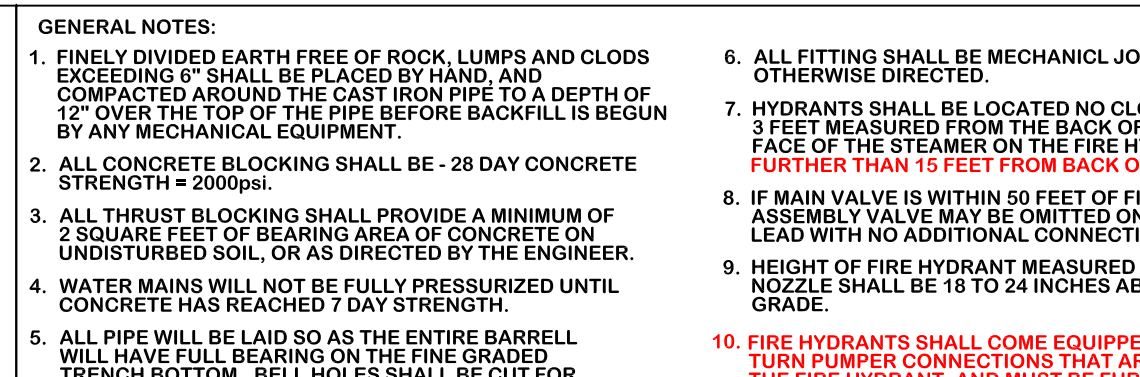
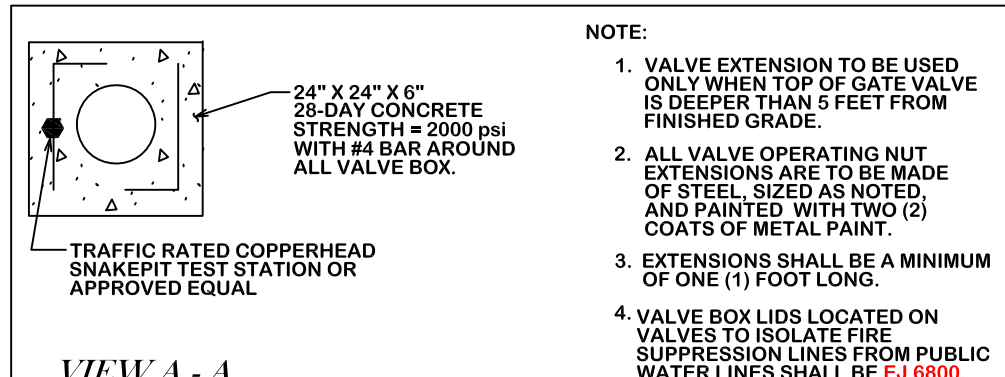
REVISIONS:

86-00 & S6-01	revised 10/26/2012.
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**BRYAN - COLLEGE STATION
STANDARD SEWER DETAILS**



DRAWN BY: B.I.
DATE: 12/2020
SCALE: NTS
APPROVED: W. P. K.



BRYAN - COLLEGE STATION STANDARD WATER DETAILS

CITY OF COLLEGE STATION

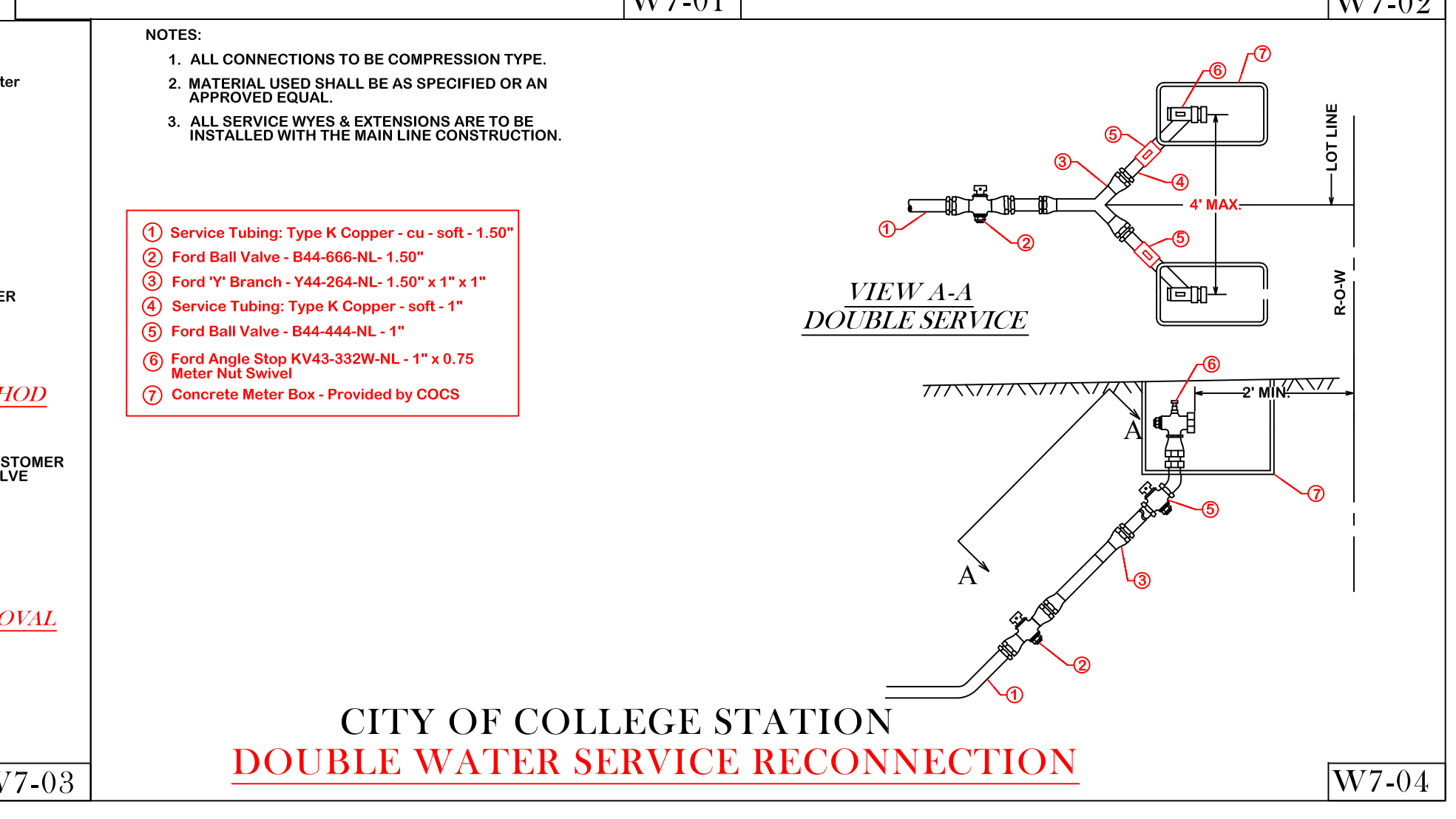
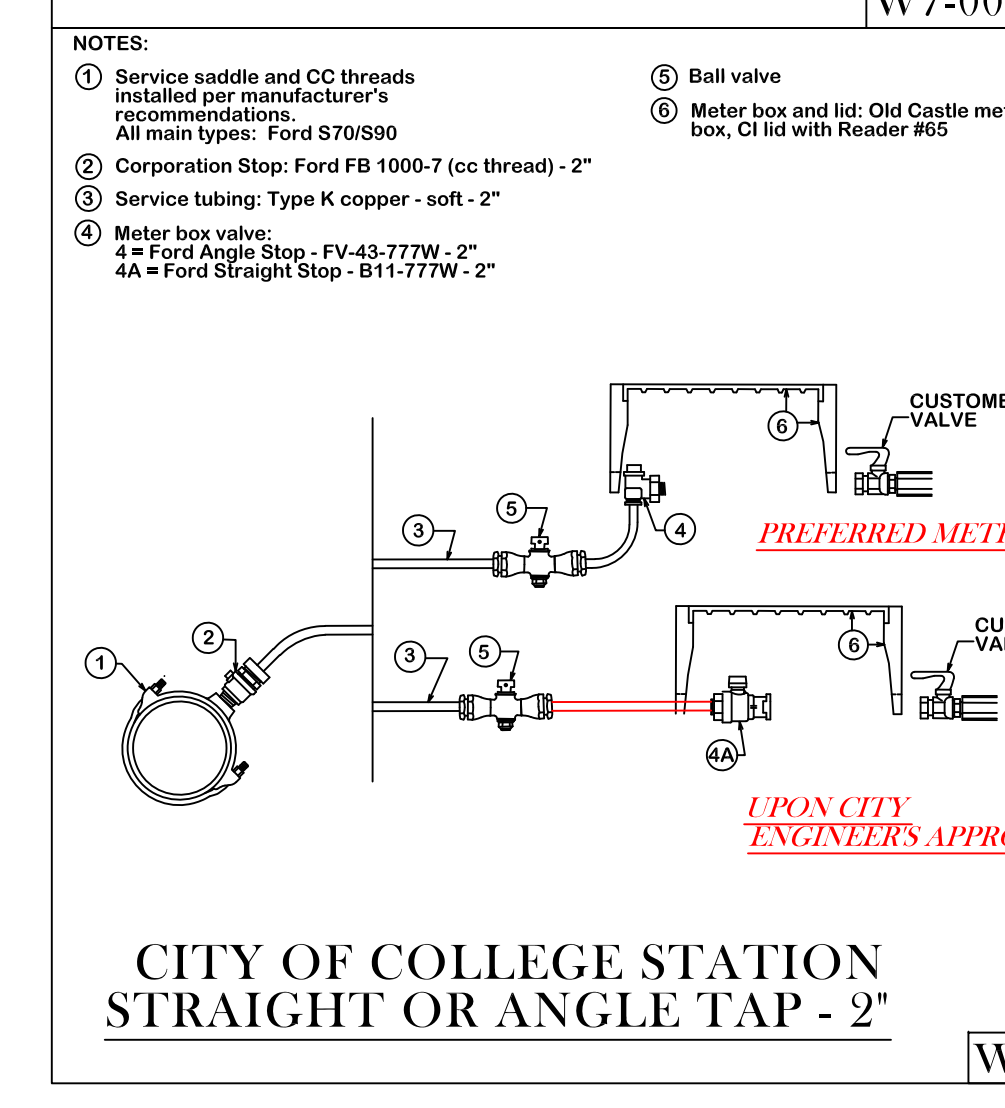
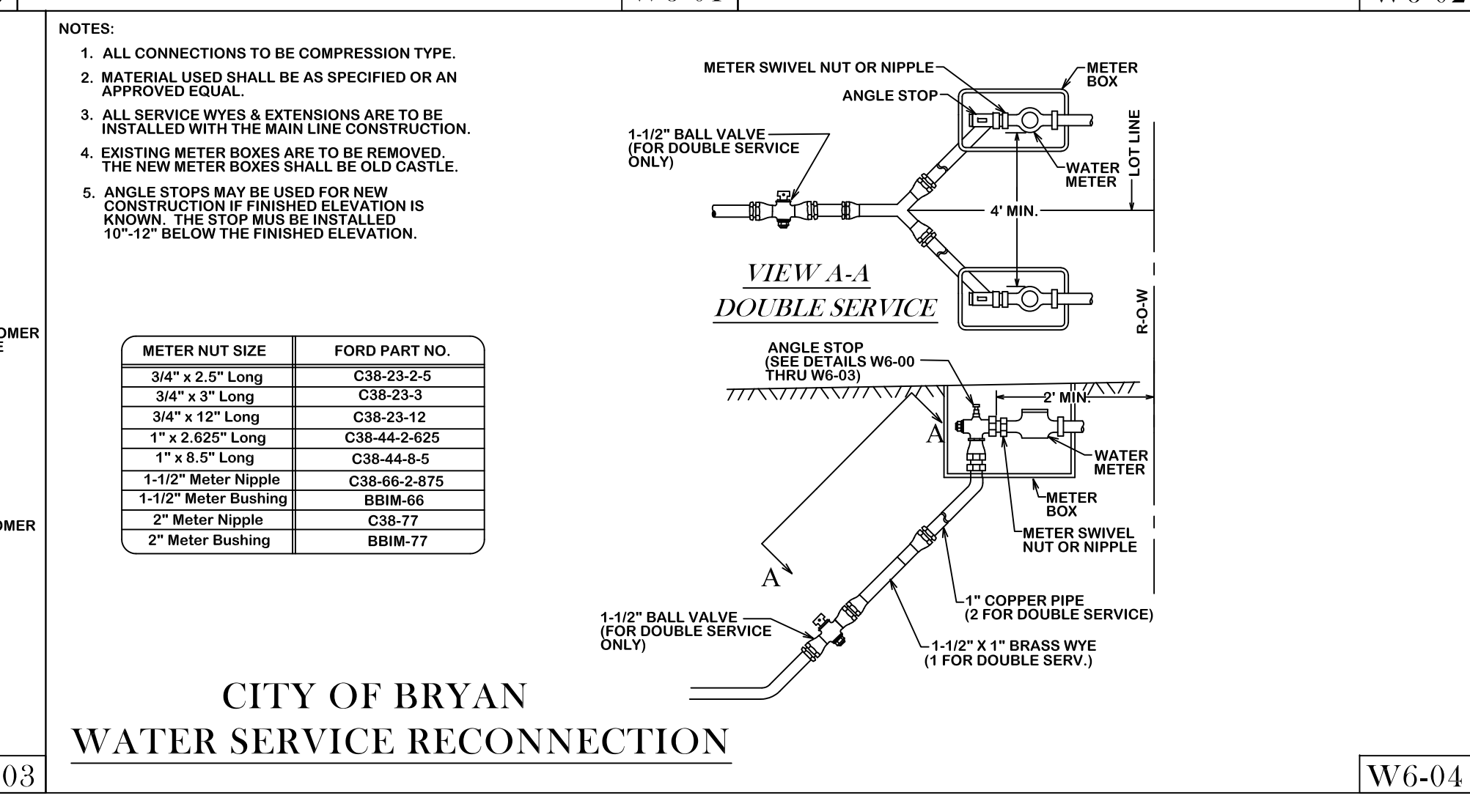
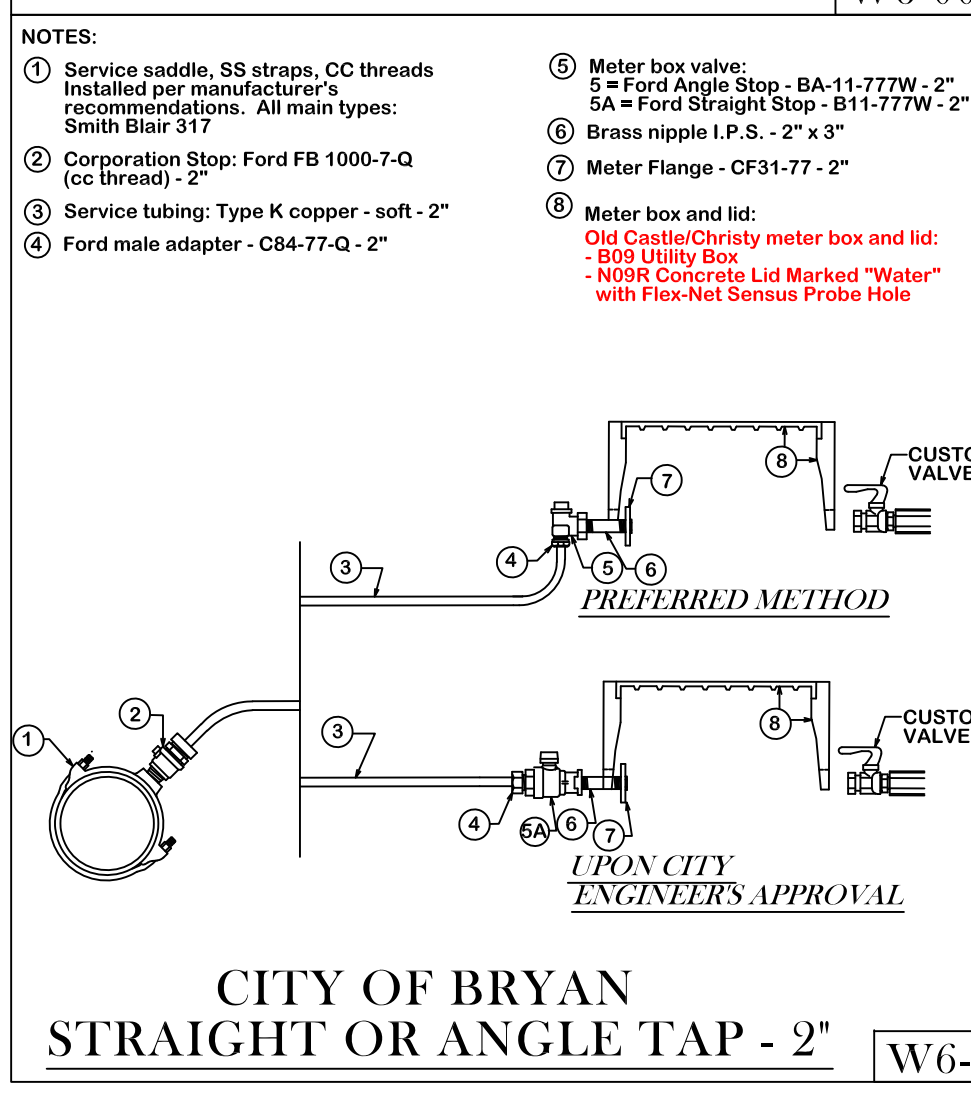
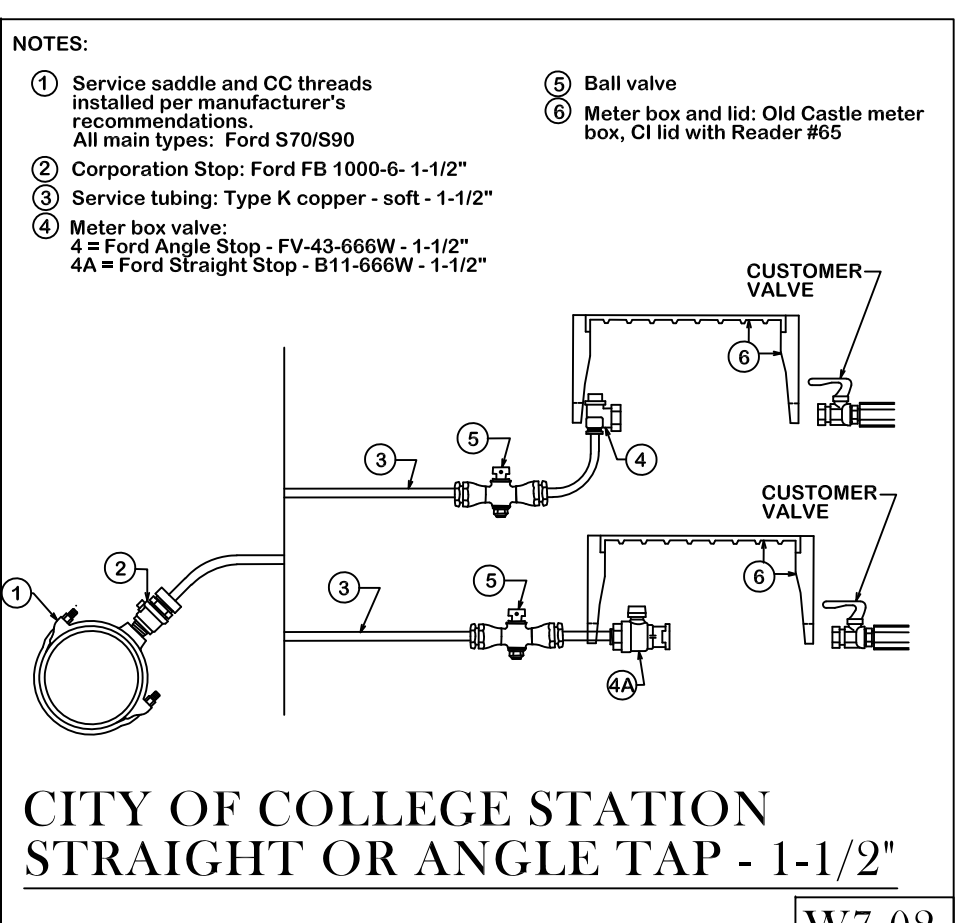
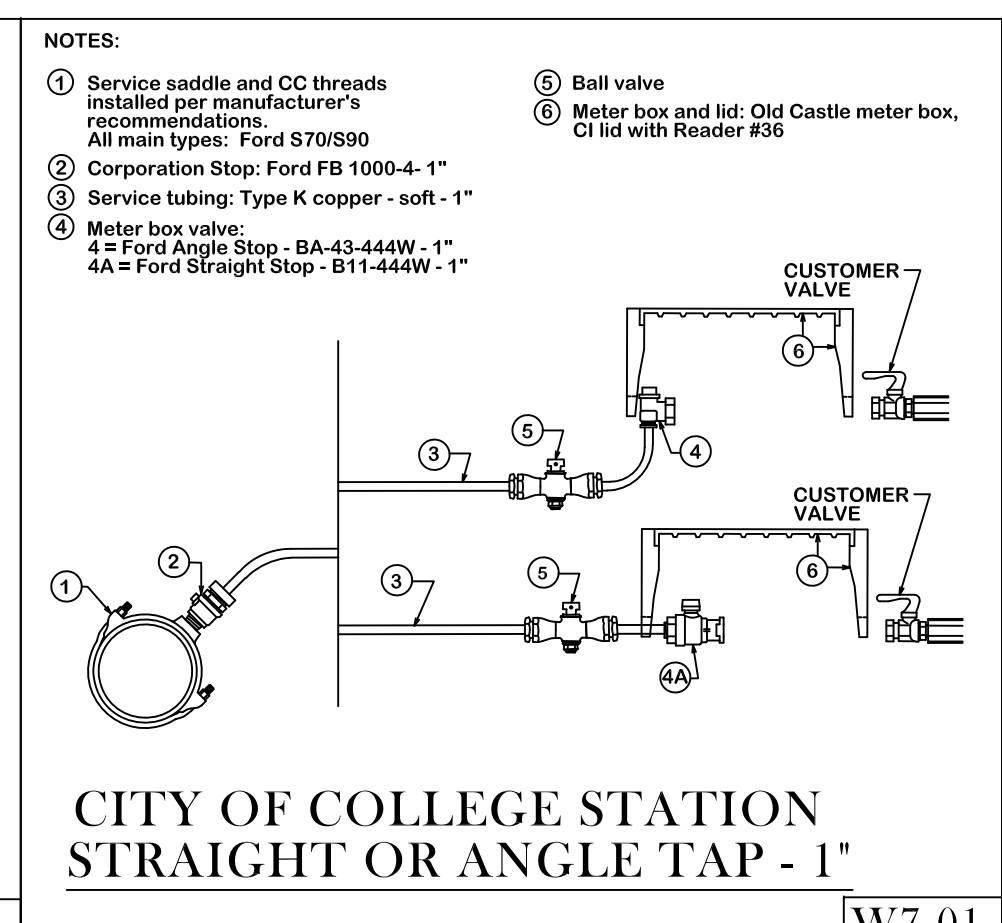
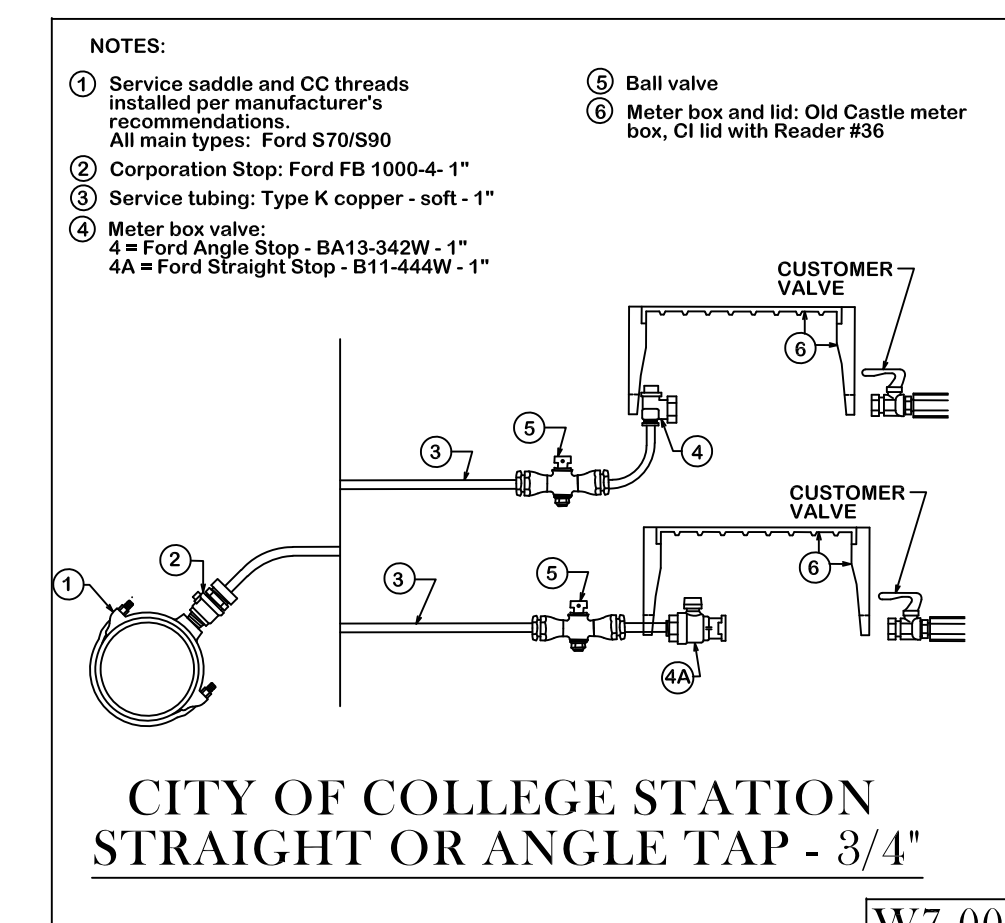
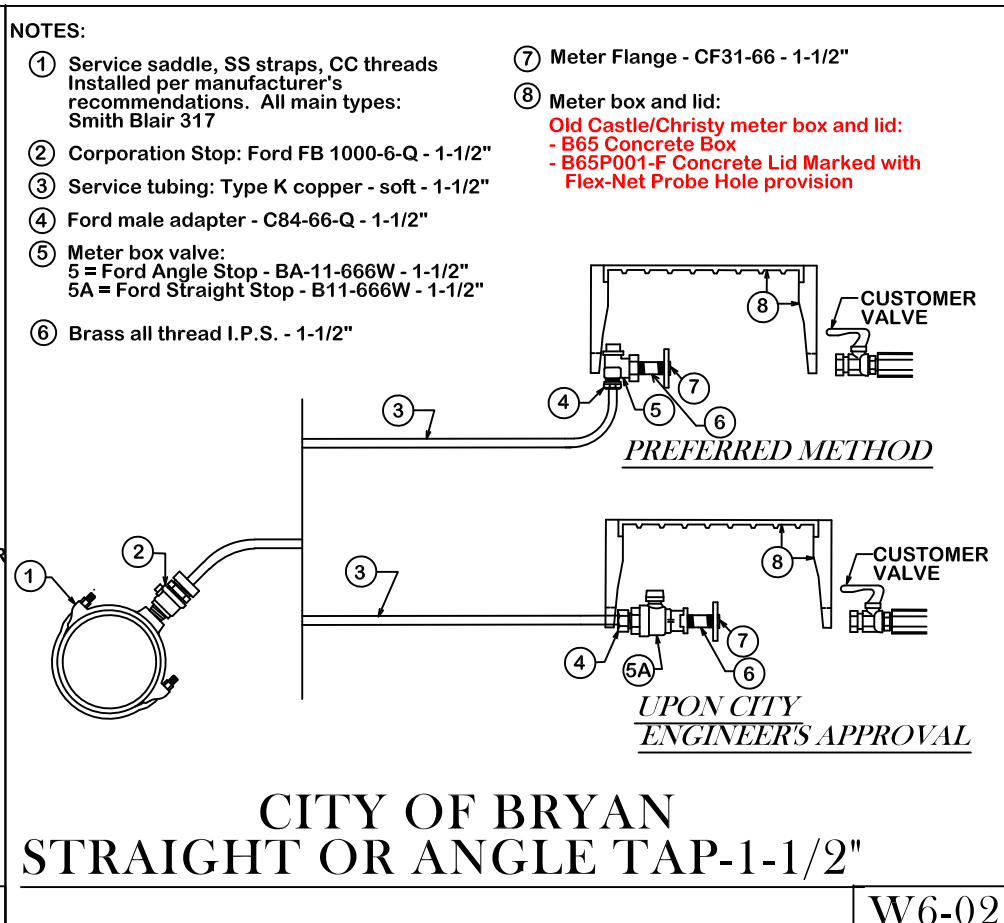
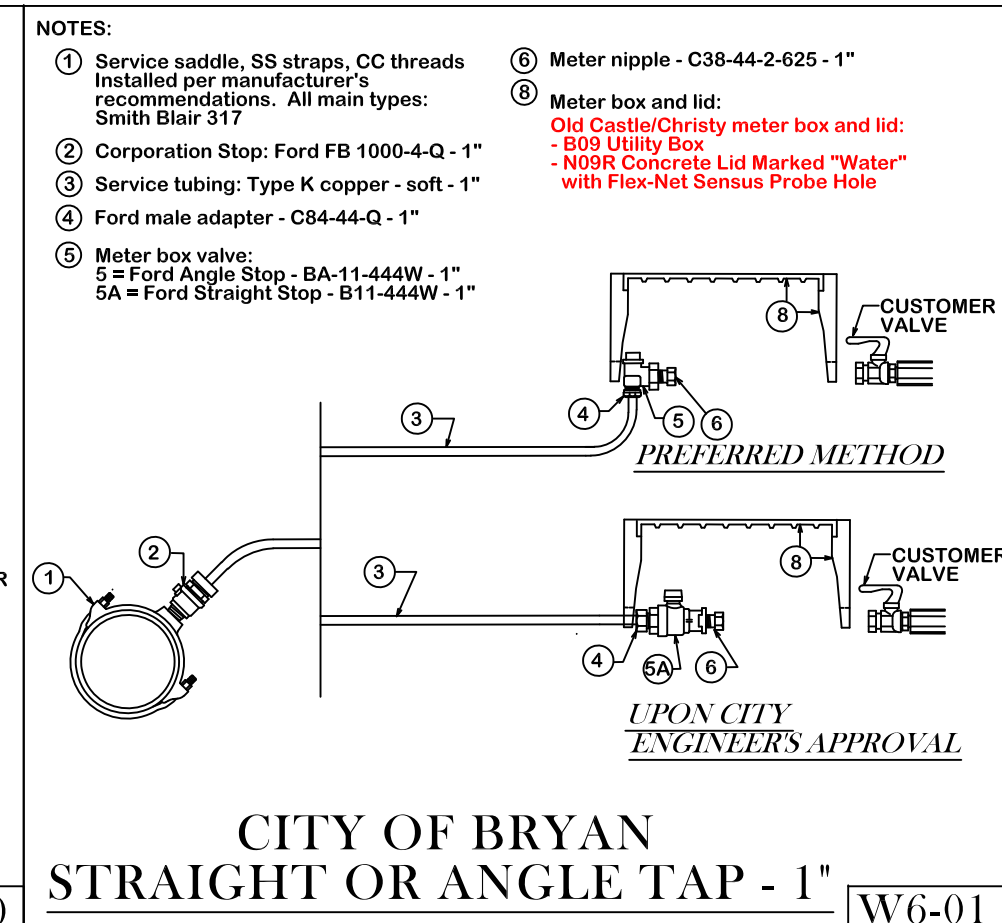
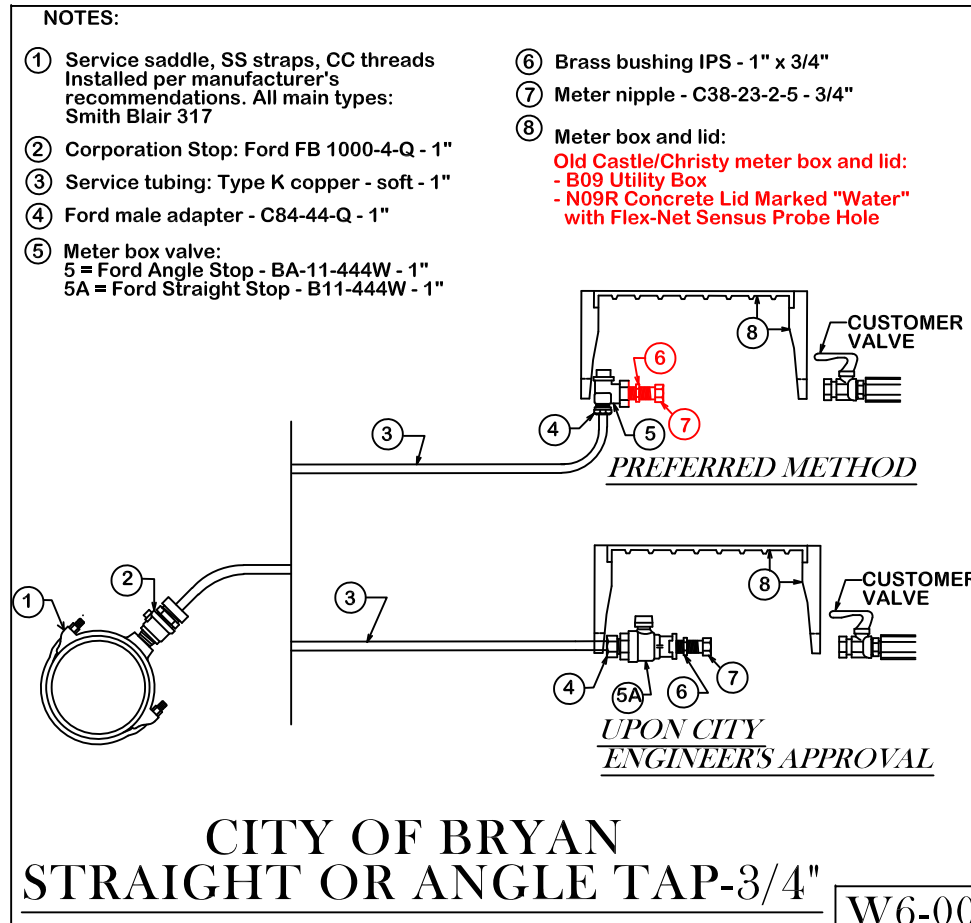
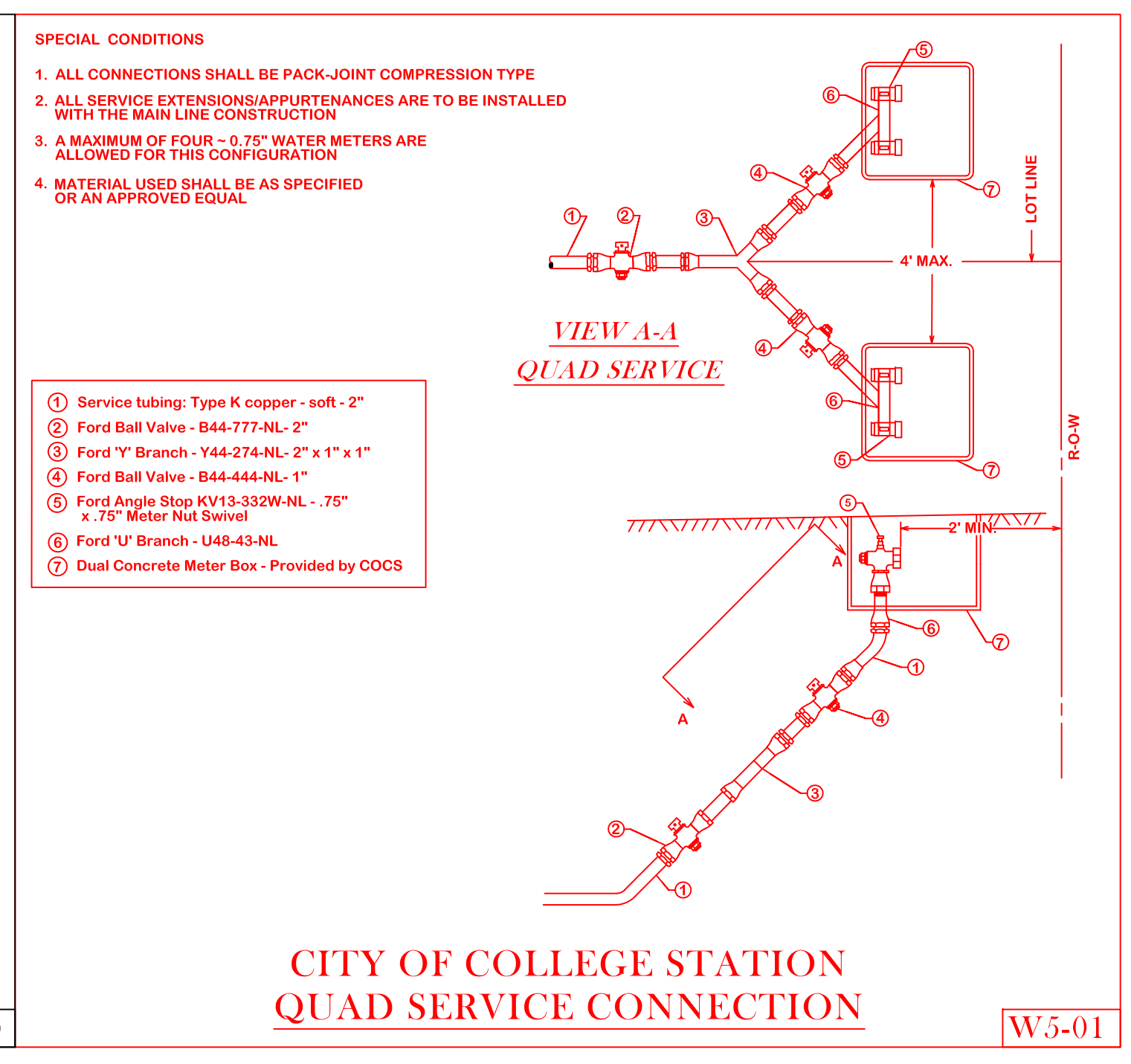
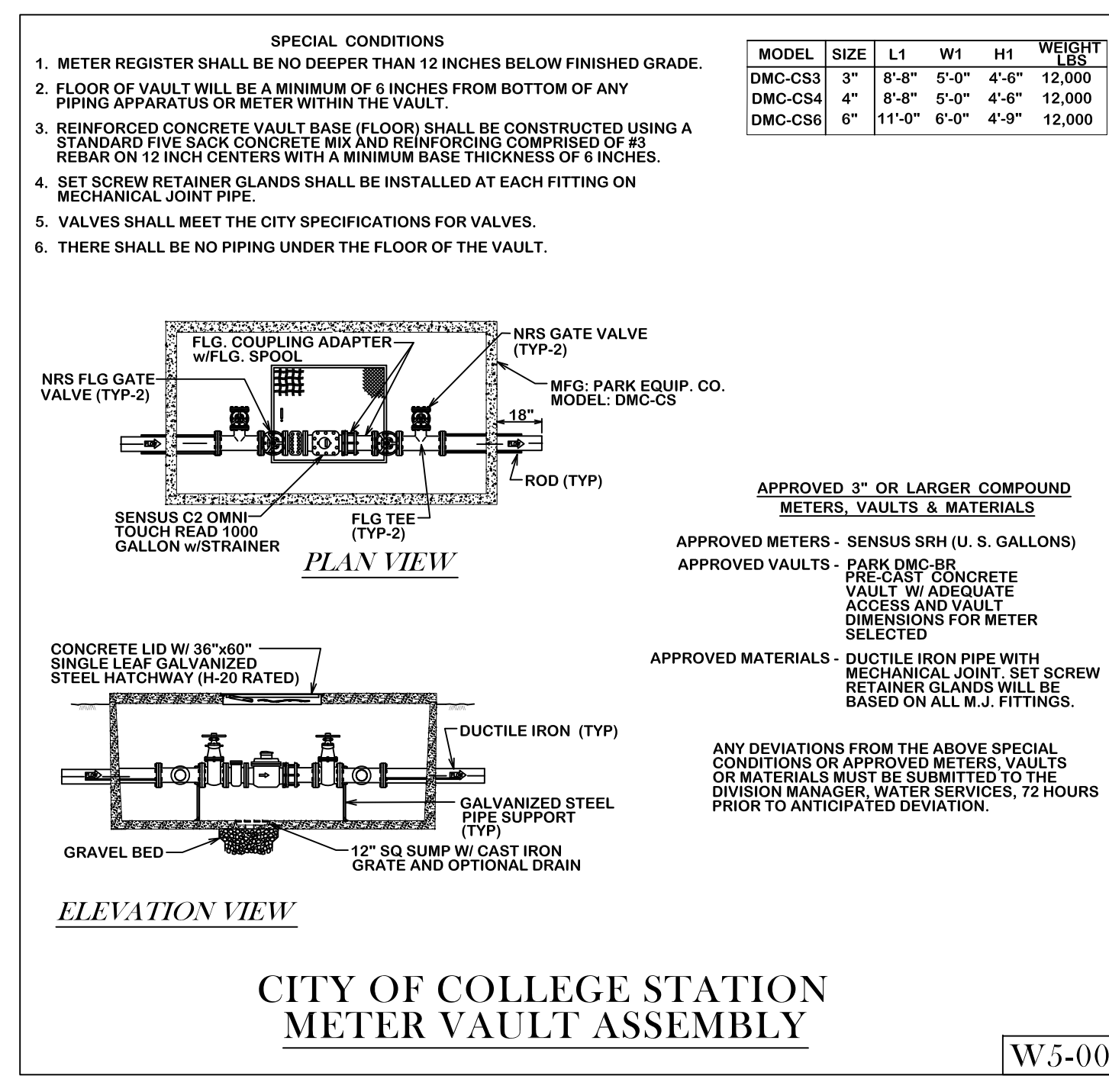
CITY OF BRYAN
The Good Life, Texas Style.

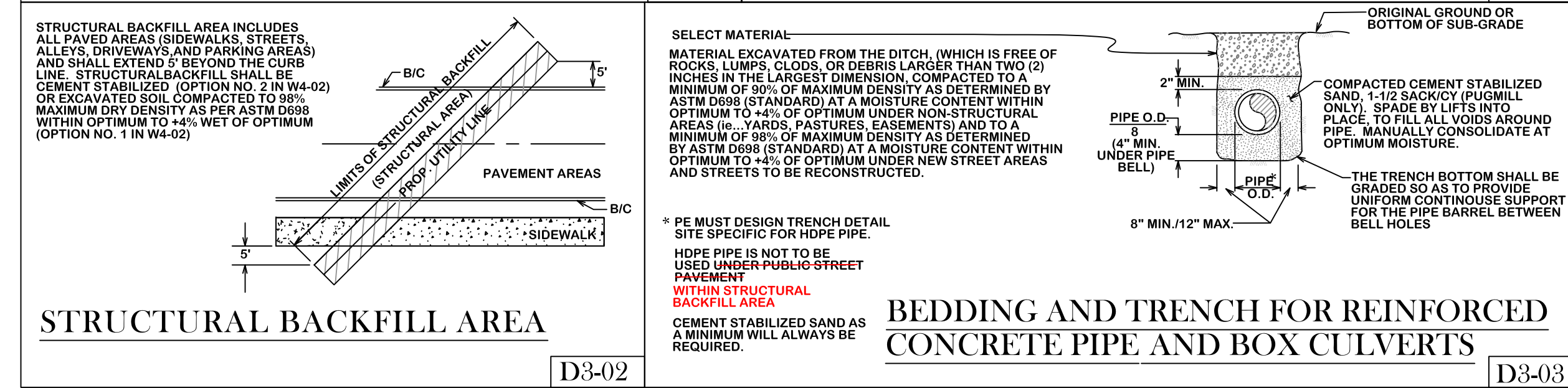
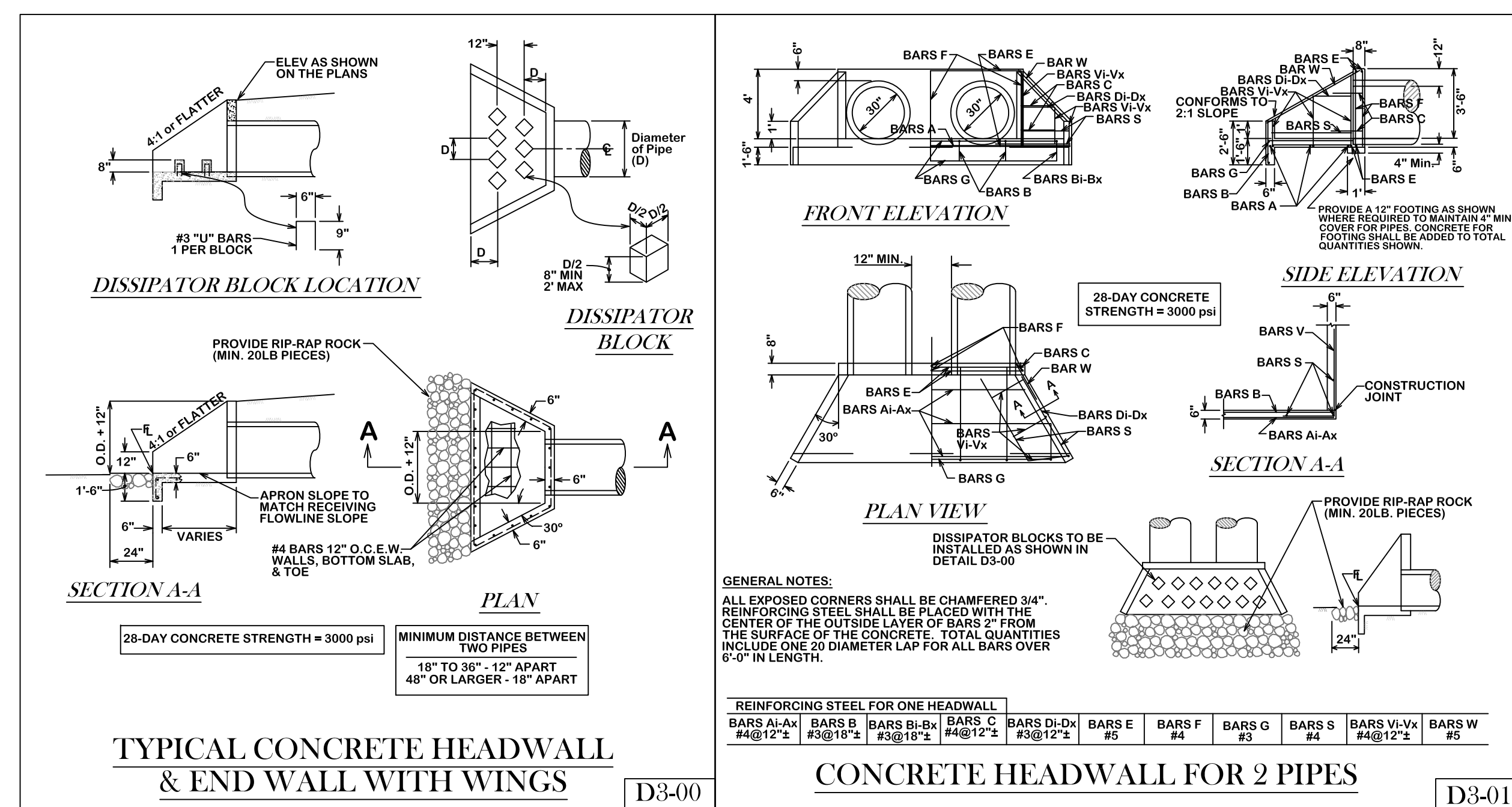
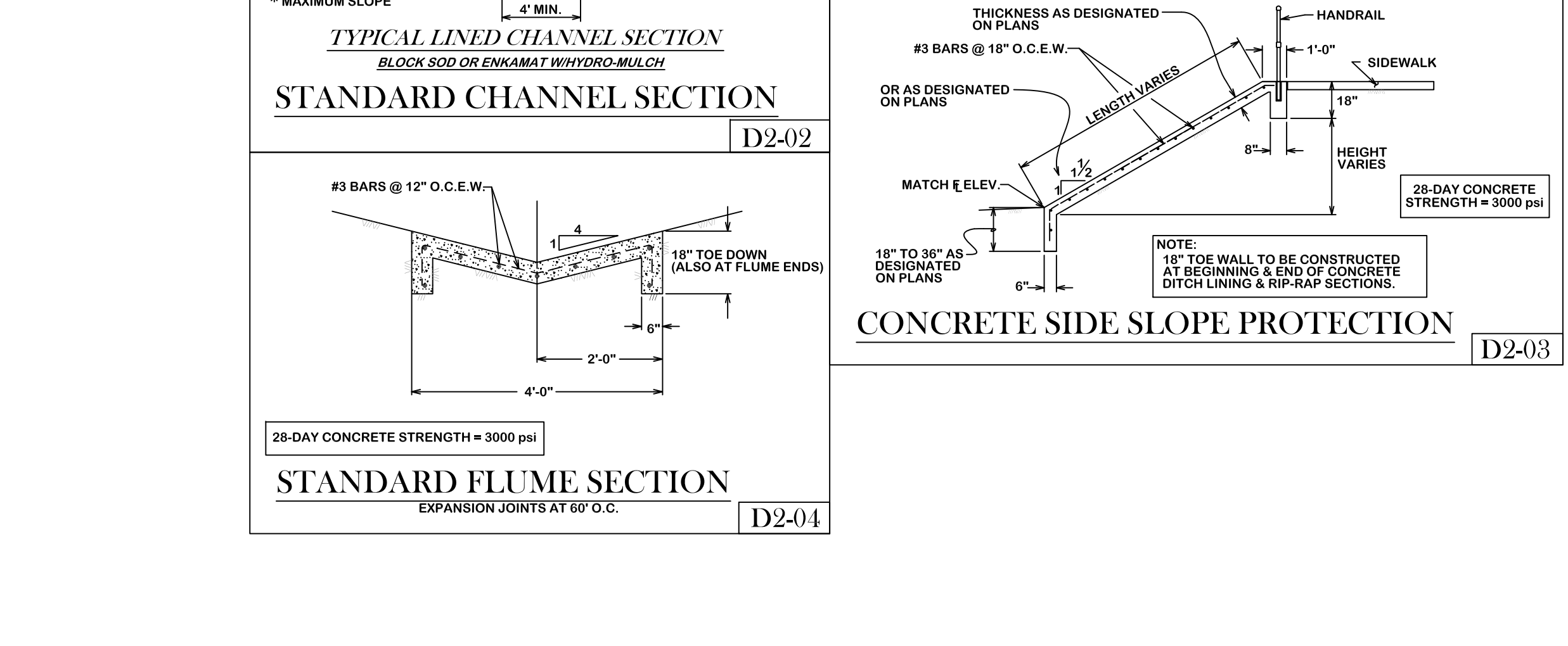
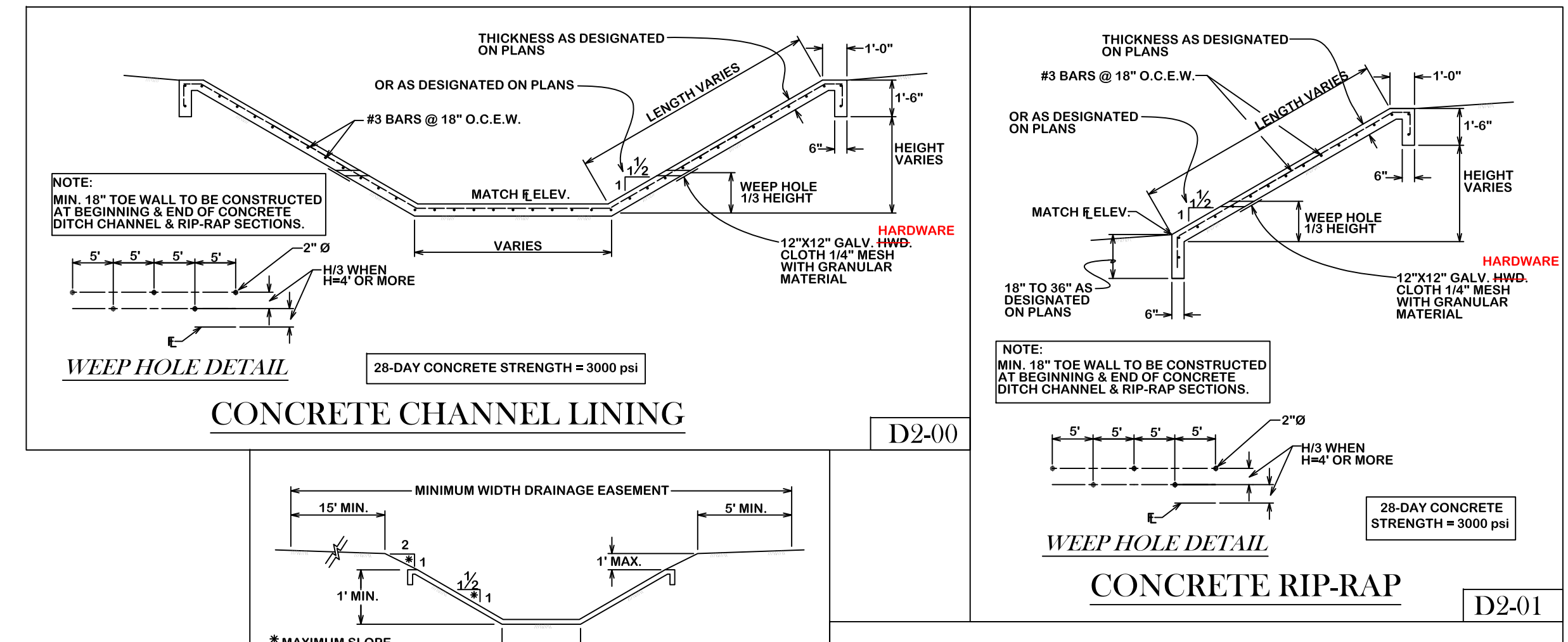
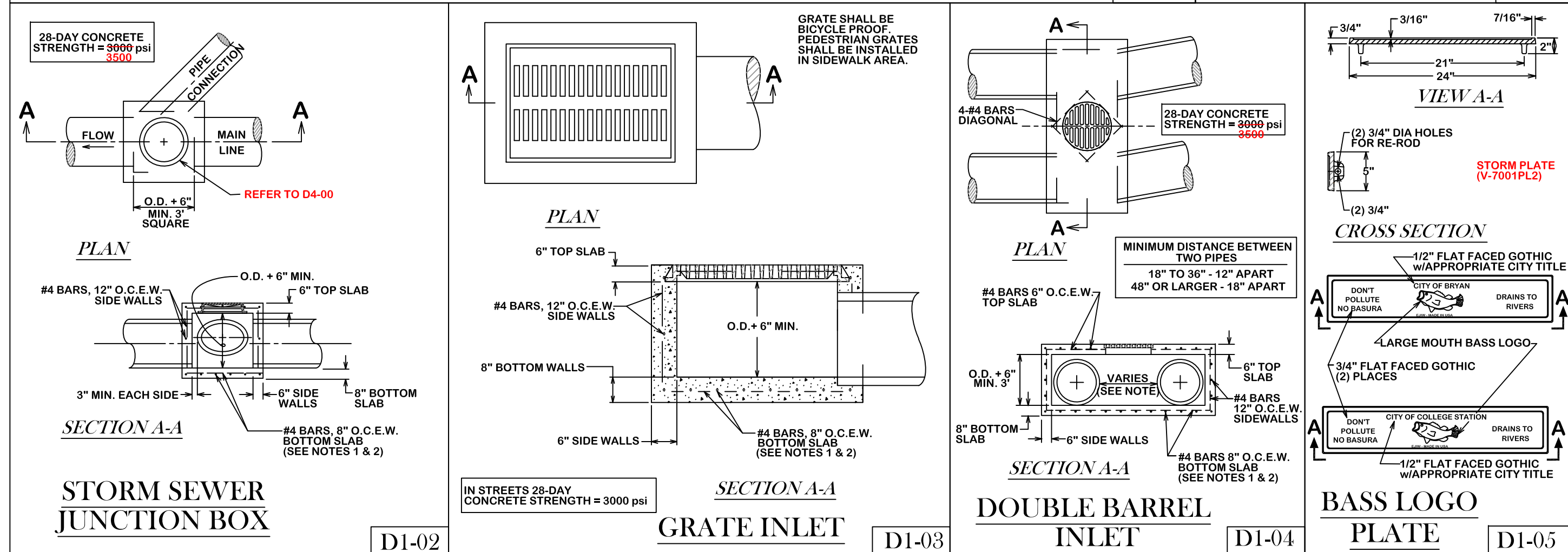
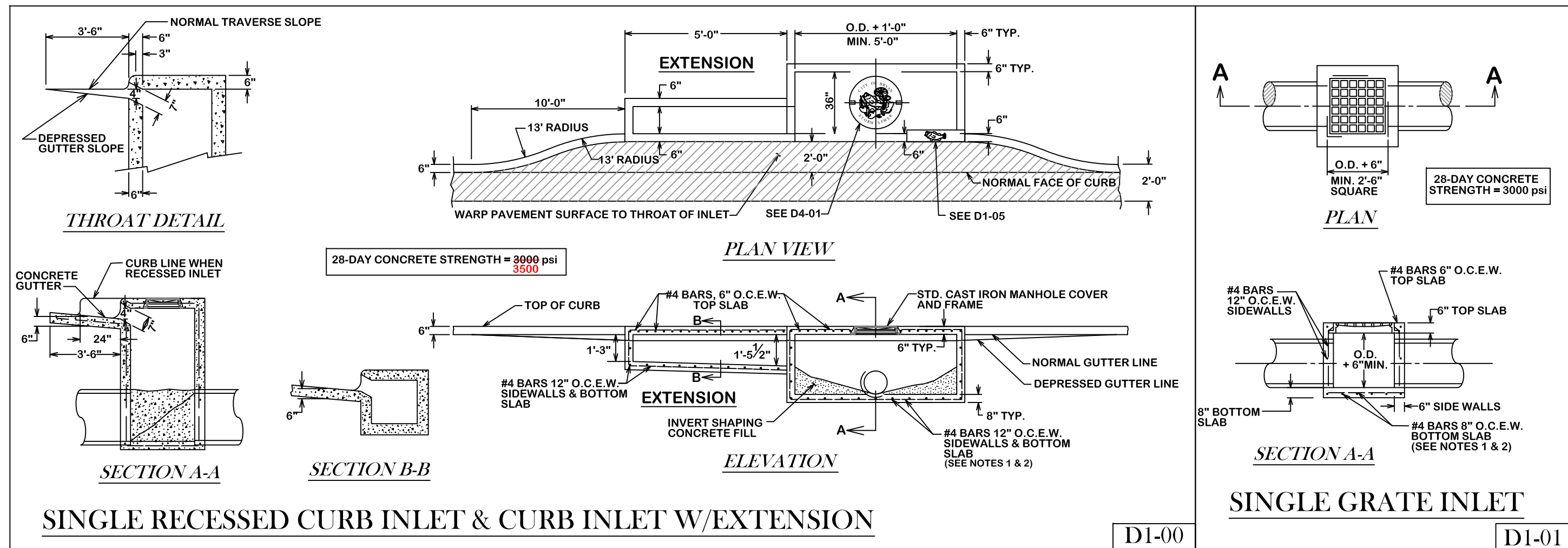
REVISIONS:

NO.	DESCRIPTION

DRAWN BY: B.I.
DATE: 12/2020
SCALE: NTS
APPROVED: W. P. K.

FIGURE: W1
SHEET 1 OF 2

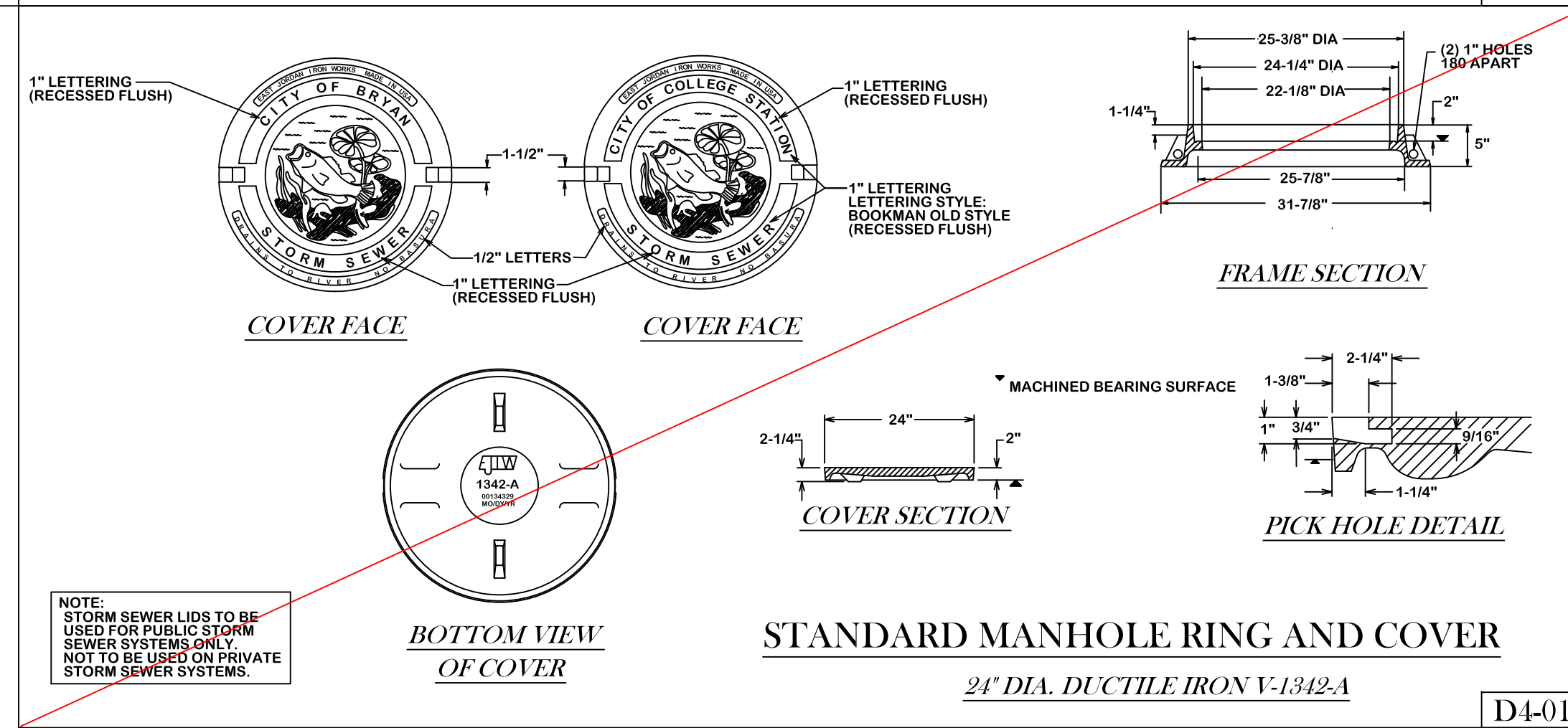
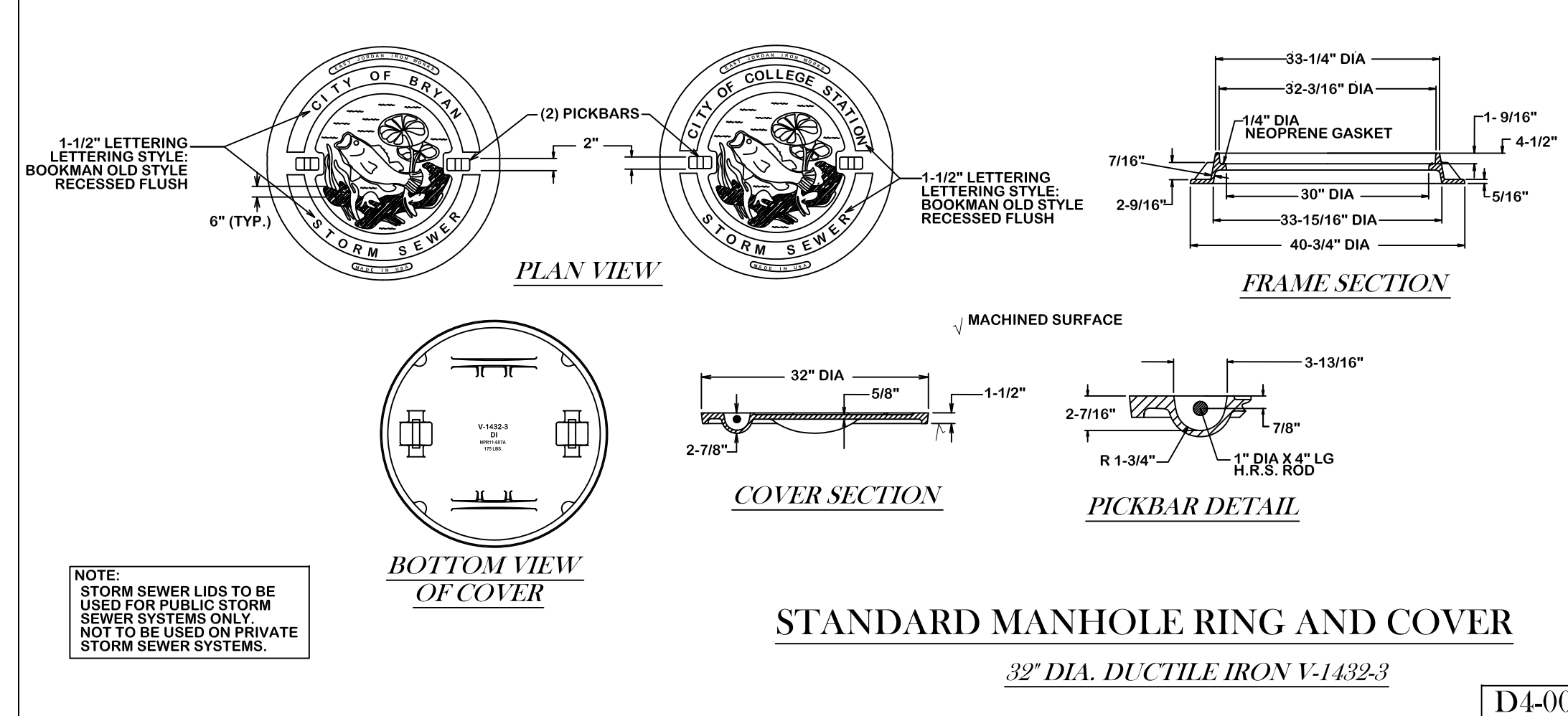




GENERAL NOTES:

1. BASE THICKNESS AND FOUNDATION SHALL BE AS FOLLOWS:

INLET DEPTH (FT.)	BASE THICKNESS
0 - 12	8"
12 AND OVER	12"
2. DEPTHS GREATER THAN 12' WILL REQUIRE 2 MATS OF REINFORCING STEEL IN THE BASE.
3. ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODDED OR ENKAMAT MULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED.
4. APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.



REVISIONS:

**BRYAN - COLLEGE STATION
STANDARD DRAINAGE DETAILS**



DRAWN BY: B.I.
 DATE: 12-2020
 SCALE: N.T.S.
 APPROVED: W.P.K.

FIGURE:
D
 SHEET 1 OF 1